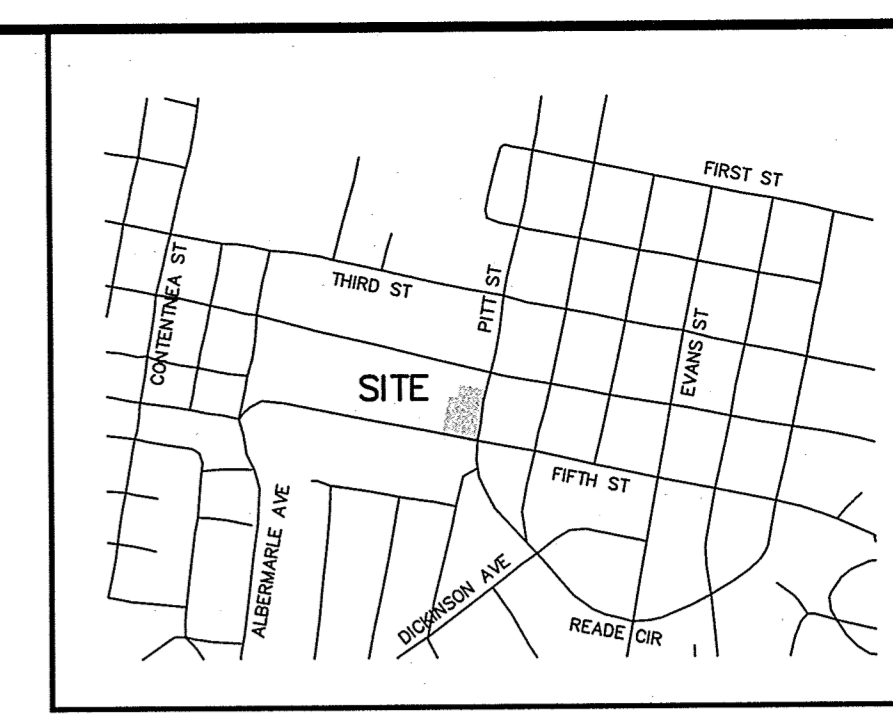


**PARKING REQUIREMENTS:**

**DUE TO CD (DOWNTOWN COMMERCIAL) ZONING - THERE ARE NO PARKING REQUIREMENTS**

TOTAL SPACES REQUIRED = 0 SPACES  
TOTAL SPACES PROVIDED = 94 SPACES  
(INCLUDES 4 ACCESSIBLE SPACES)



**VICINITY MAP**  
N.T.S.

**SHEET INDEX**

#	Sheet Title
C1	Site & Utilities Plan
C2	Topographic Survey
C3	Demolition Plan
C4	Erosion Control & Grading Plan
C5	Erosion Control Notes & Details
C6	Planting Plan
C7	Construction Details

**GENERAL NOTES:**

- CONTACT NORTH CAROLINA ONE-CALL CENTER, INC. (NC 811) BY DIALING 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND. ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH THE CITY OF GREENVILLE MANUAL OF STANDARD DESIGNS AND DETAILS AND THE MANUAL FOR THE DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER SYSTEM EXTENSIONS FOR GREENVILLE UTILITIES COMMISSION AND IN ACCORDANCE WITH APPROPRIATE UTILITY COMPANY'S POLICY.
- PORTIONS OF THIS SURVEY ARE LOCATED WITHIN A ZONE X BASED ON THE REVISED FIRM MAP NUMBER 3720468800K PANEL 4688, EFFECTIVE JULY 7TH, 2014.
- SOIL EROSION AND SEDIMENTATION CONTROL PLAN APPROVAL BY THE CITY ENGINEER IS REQUIRED PRIOR TO THE INITIATION OF ANY LAND DISTURBING ACTIVITIES.
- SITE SHALL MEET ALL RELATIVE NORTH CAROLINA ACCESSIBILITY CODE REQUIREMENTS.
- CITY OF GREENVILLE DRIVEWAY PERMIT REQUIRED. CITY OF GREENVILLE RIGHT OF WAY EXCAVATION & RESTORATION PERMIT REQUIRED.
- ANY UNUSED DRIVEWAY SHALL BE CLOSED IN ACCORDANCE WITH CITY OF GREENVILLE'S DRIVEWAY ORDINANCE.
- PAVEMENT SECTION FOR PARKING LOT 6" CB, WITH 2" BCSC, TYPE 5-9.5B.
- PROVIDE ALL NECESSARY SIGNAGE FOR HANDICAP PARKING.
- PARKING LOT SHALL BE STRIPED IN ACCORDANCE WITH PLAN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNS. SEPARATE SIGN PERMITS ARE REQUIRED.
- CONTRACTOR SHALL NOTIFY PUBLIC WORKS STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR R/W.
- ACCESS TO PUBLIC UTILITIES MUST BE MADE AVAILABLE AT ALL TIMES. NO SIGNS SHALL BE LOCATED WITHIN UTILITY EASEMENT.
- NO BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, MATERIALS AND SURFACES, INCLUDING BUT NOT LIMITED TO PRINCIPLE AND ACCESSORY STRUCTURES AND ADDITIONS AND APPURTENANCES THERETO, SIGNAGE, FENCES, WALLS, MECHANICAL EQUIPMENT, CANOPIES, ANTENNAS, MASTS, DEBRIS, SOLID WASTE COLLECTION CONTAINERS, MAIL RECEPTACLES AND IMPERVIOUS SURFACES SHALL ENCRUCH WITHIN ANY DEDICATED EASEMENT WITHOUT PRIOR APPROVAL OF GREENVILLE UTILITIES OR CITY OF GREENVILLE, AS APPLICABLE.
- BOUNDARY AND TOPOGRAPHICAL SURVEY PROVIDED BY THE EAST GROUP, P.A.
- CONTRACTOR SHALL INSTALL CONDUIT FOR IRRIGATION AND PARKING LOT LIGHTING. INSTALLATION OF IRRIGATION SYSTEM AND PARKING LOT LIGHTING WILL BE BY OTHERS.
- CONTRACTOR SHALL USE EXIST. 2" WATER METER ON 5TH STRET FOR IRRIGATION SERVICE.

**LEGEND:**

- ECM = EXISTING CONCRETE MONUMENT
- EIP = EXISTING IRON PIPE
- EIS = EXISTING IRON STAKE
- NPK = NEW PK NAIL
- AL = AREA LIGHT
- CB = CATCH BASIN
- CLF = CHAIN LINK FENCE
- CMB = CREPE MYRTLE BUSH
- CSW = CONCRETE SIDEWALK
- DIP = DUCTILE IRON PIPE
- DWT = DOG WOOD TREE
- EB = ELECTRIC BOX
- EMH = ELECTRIC MANHOLE
- OT = OAK TREE
- JB = JUNCTION BOX
- MH = MANHOLE
- PP = POWER POLE
- RCP = REINFORCED CONCRETE PIPE
- TB = TELEPHONE BOX
- TSB = TRAFFIC SIGNAL BOX
- WDF = WOODEN FENCE
- WW = WATER VALVE
- GW = GUY WIRE
- NO POINT SET
- OE = OVERHEAD ELECTRIC
- UG = UNDERGROUND GAS
- SS = SEWER LINE
- SD = STORM DRAIN
- T = UNDERGROUND TELECOM. LINE (ORANGE)
- UT = UNKNOWN UNDERGROUND UTILITY (PINK)
- W = WATER LINE

**LEGEND**

- WHEELCHAIR RAMP
- HANDICAP
- SIGN
- SPILL GUTTER
- CATCH BASIN
- STORM SEWER MANHOLE
- PARKING LOT LIGHTS
- UNDERGROUND ELECTRIC
- IRRIGATION CONDUIT
- LIGHTING CONDUIT
- FENCE
- LIMITS OF DISTURBANCE
- DEMOLITION LINE
- DEMOLITION AREA
- SILT FENCE
- STORM DRAINAGE LINES
- CURB AND GUTTER
- CONCRETE SIDEWALK
- CONCRETE
- ASPHALT

**SITE DATA:**

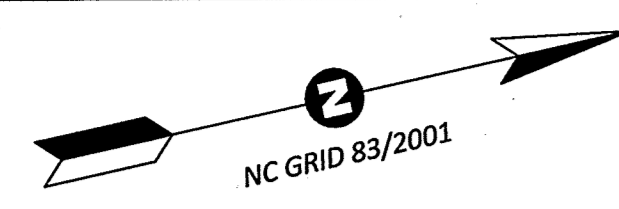
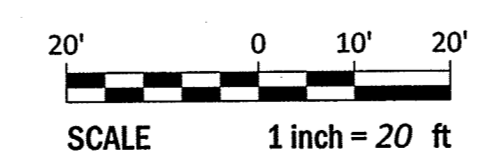
TOTAL ACREAGE IN SITE:	1.04 ACRES
CURRENT ZONING:	CD - DOWNTOWN COMMERCIAL
TAX PARCEL NUMBER:	26193, 16533, 28899, 16971
ACREAGE IN COMMON AREAS:	N/A
ACREAGE IN RECREATION AREAS AND THE LIKE:	N/A
OPEN SPACE:	8,401 SF (81.4%)
TOTAL NUMBER OF UNITS/BEDROOMS:	N/A
GROSS FLOOR AREA (PROPOSED):	NONE
BUILDING LOT COVERAGE:	0%
BUILDING HEIGHT (IN FEET AND STORIES):	N/A
TOTAL NO. OF PARKING SPACES PROVIDED:	94 SPACES (INCLUDES 4 HC SPACES)
REQUIRED PARKING:	NONE (DUE TO CD ZONING)
TOTAL SQUARE FEET OF IMPERVIOUS AREA:	36,961 SF (81.6%)
IMPERVIOUS AREA FOR PARKING AREAS:	36,961 SF (81.6%)
STREET ADDRESS:	FIFTH STREET

**REFERENCES:**

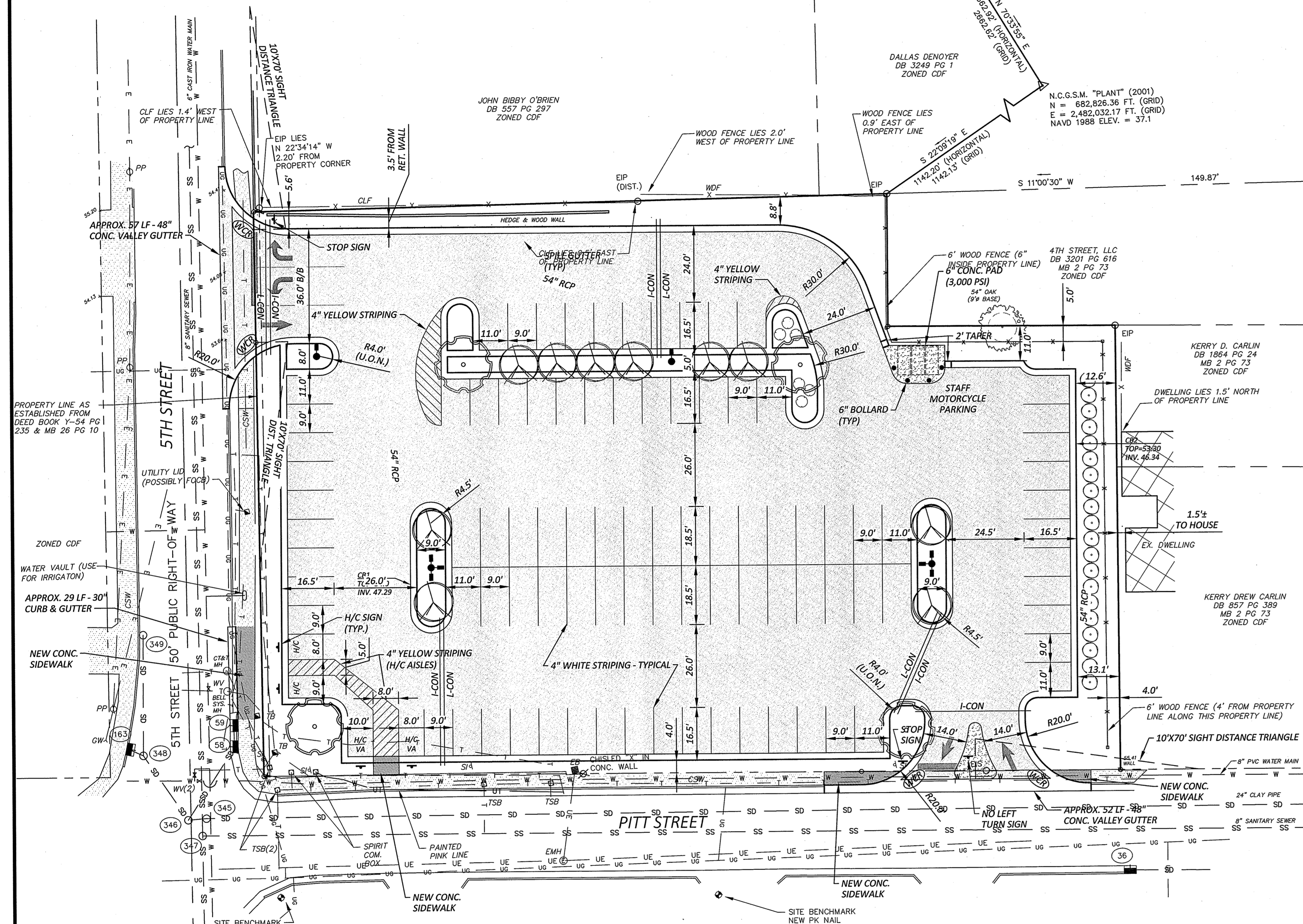
D.B. 3406 PG. 633  
P.N. 26193  
P.N. 16533  
P.N. 28899  
P.N. 16971

**OWNER/DEVELOPER:**

**GREENVILLE UTILITIES**  
ATTN: GREG ROBBERSON  
801 MUMFORD ROAD  
GREENVILLE, NC 27835  
PHONE: (252) 329-2156



NOTE:  
COMBINED SCALE FACTOR = 0.99989171  
ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS IN FEET AND DECIMALS THEREOF UNLESS NOTED OTHERWISE.  
ALL COORDINATES SHOWN ARE RELATIVE TO NAD 83/2011 COORDINATE ADJUSTMENTS.



PITT STREET PUBLIC RIGHT-OF-WAY VARIES (SEE N.C.D.O.T. PROJECT 8.2220601 FOR REFERENCE)

- 36 CB HOOD = 54.67  
INV = 50.92
- 345 JB TOP = 52.14  
INV = 47.59
- 58 CB HOOD = 52.57  
INV = 49.67
- 346 JB TOP = 52.05  
INV = 47.65
- 59 CB HOOD = 52.53  
INV = 49.83
- 347 SSMH TOP = 52.14  
INV = 44.24
- 163 CB HOOD = 51.98  
INV = 49.18
- 348 JB TOP = 51.56  
INV = 48.96
- 349 JB TOP = 51.95  
INV = 46.65 (FILLED WITH WATER)

P:\Projects\2016\16034\16034.dwg, 10/10/2016, 10:00 AM, User: greg.robberson



**SITE & UTILITIES PLAN**  
**GREENVILLE UTILITIES COMMISSION**  
**5th & PITT ST. PARKING**  
GREENVILLE TOWNSHIP - PITT COUNTY - NORTH CAROLINA

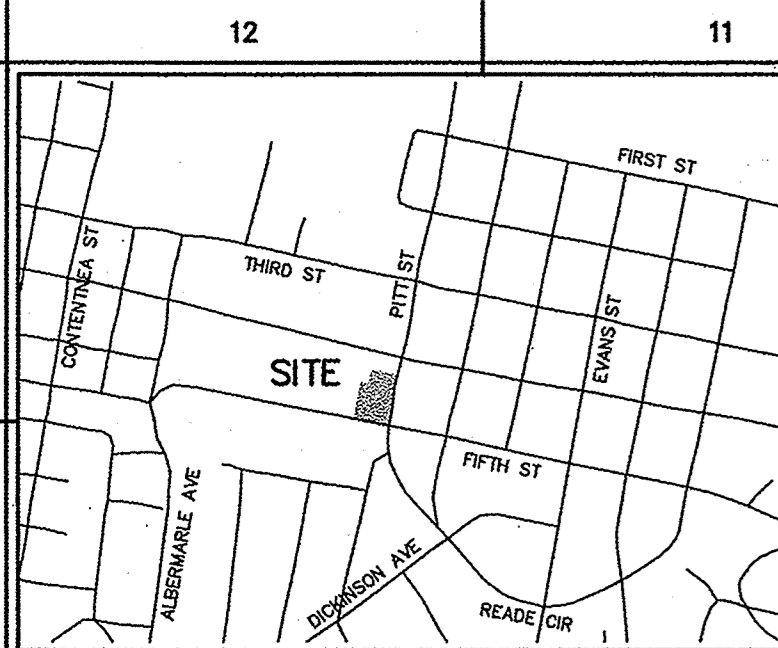
**Rivers & Associates, Inc.**  
107 East Second Street  
Greenville, NC 27858  
(252) 752-4135

Professional Engineer  
Professional Planner  
Professional Surveyor  
Professional Landscape Architect

Professional Engineer Seal  
June 10, 2016

SURVEY	DRAFT	LC/KB
DESIGN	JDV	CHECK
PROJECT No.	2016034	
DRAWING No.	W-3679	
SCALE:	AS NOTED	
SHEET No.	OF X	

**C1**

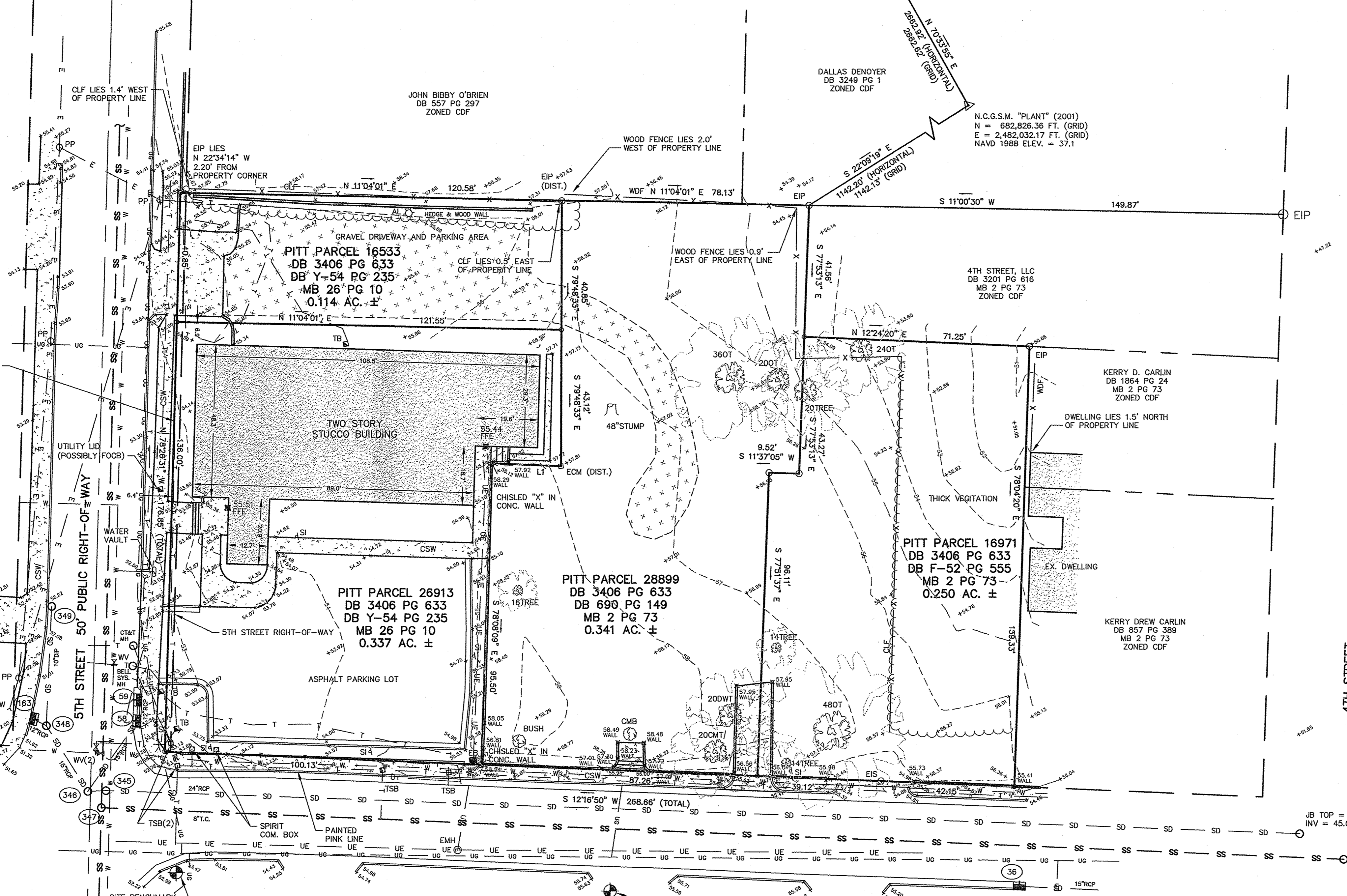


NO GRID  
NAD 83-2001

NOTE:  
COMBINED SCALE FACTOR = 0.99989171

ALL DISTANCES ARE HORIZONTAL  
GROUND MEASUREMENTS IN FEET  
AND DECIMALS THEREOF UNLESS  
NOTED OTHERWISE.

ALL COORDINATES SHOWN ARE RELATIVE TO  
NAD 83/2011 COORDINATE ADJUSTMENTS.



LINE TABLE	
LINE	BEARING
L1	21.95 S12°21'27\"/>

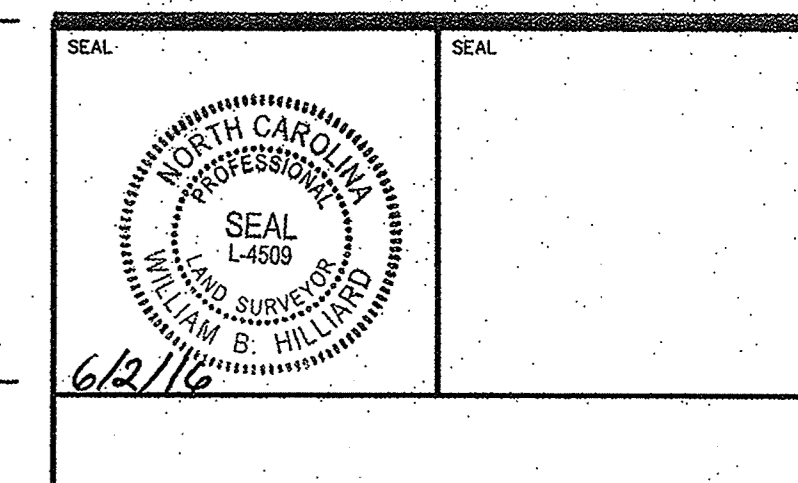
36	CB HOOD = 54.67 INV = 50.92	345	JB TOP = 52.14 INV = 47.59
58	CB HOOD = 52.57 INV = 49.67	346	JB TOP = 52.05 INV = 47.65
59	CB HOOD = 52.53 INV = 49.83	347	SSMH TOP = 52.14 INV = 44.24
163	CB HOOD = 51.98 INV = 49.18	348	JB TOP = 51.56 INV = 48.96
		349	JB TOP = 51.95 INV = 46.65 (FILLED WITH WATER)

STATE OF NORTH CAROLINA  
PITT COUNTY

I, WILLIAM B. HILLIARD, CERTIFY THAT THIS  
PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL  
SURVEY MADE UNDER MY SUPERVISION, (DEED DESCRIPTION  
RECORDED IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_) THAT THE RATIO  
OF PRECISION AS CALCULATED IS 1:10,000; THAT THIS PLAT  
WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF  
PRACTICE, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION  
NUMBER AND SEAL THIS 21st DAY OF MARCH, 2016.

W.B. Hilliard  
L-4509

I, WILLIAM B. HILLIARD, CERTIFY THAT THIS PROJECT WAS  
COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE  
FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION;  
THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95  
PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC  
DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS  
PERFORMED TO MEET THE REQUIREMENTS FOR A  
TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF  
CLASS AA AND VERTICAL ACCURACY WHEN APPLICABLE TO  
THE CLASS A STANDARD, AND THAT THE ORIGINAL DATA  
WAS OBTAINED ON 12/04/15; THAT THE SURVEY WAS  
COMPLETED ON 12/16/15; THAT CONTOURS SHOWN AS  
DASHED MAY NOT MEET THE STATED STANDARD, AND ALL  
COORDINATES ARE BASED ON NAD 83-2001 AND ALL  
ELEVATIONS ARE BASED ON NAVD 88.



- LEGEND
- ECM = EXISTING CONCRETE MONUMENT
  - EIP = EXISTING IRON PIPE
  - EIS = EXISTING IRON STAKE
  - NPK = NEW PK NAIL
  - AL = AREA LIGHT
  - CB = CATCH BASIN
  - CLF = CHAIN LINK FENCE
  - CMB = CREPE MYRTLE BUSH
  - CSW = CONCRETE SIDEWALK
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  - OT = OAK TREE
  - PP = POWER POLE
  - RCP = REINFORCED CONCRETE PIPE
  - TB = TELEPHONE BOX
  - TSB = TRAFFIC SIGNAL BOX
  - WDF = WOODEN FENCE
  - WV = WATER VALVE
  - W = WATER LINE
- NOTES:
- 1) ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
  - 2) NO TITLE OPINION OR COMMITMENT WAS PROVIDED TO THE EAST GROUP BY THE OWNER OR ANY AGENT OF THE OWNER AT THE TIME OF THIS SURVEY.
  - 3) THIS PROPERTY IS SUBJECT TO THE TAR/PAMLICO RIVER RIPARIAN BUFFER RULES.
  - 4) THE SURVEYOR MADE NO ATTEMPT TO LOCATE OR DELINEATE ANY WETLANDS LOCATED ON THE SUBJECT PROPERTY.
  - 5) THE SURVEYOR MAKES NO GUARANTEE THAT THERE ARE NO OTHER EASEMENTS THAT MAY BENEFIT OR BURDEN THE SUBJECT PROPERTY.
  - 6) THIS PROPERTY IS LOCATED IN ZONE X AND IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS TAKEN FROM N.F.I.P. RATE MAP DATED JULY 7, 2014 COMMUNITY PANEL 3720488B00K.
  - 7) REFERENCE IS HEREBY MADE TO AN UNRECORDED MAP BY BALDWIN & ASSOCIATES DATED JANUARY 4, 1995 FOR JOHN BIBBY O'BRIEN.
  - 8) FIELD WORK AND DEED RESEARCH FOR THIS PROPERTY SURVEY PERFORMED ON 12/09/15.
  - 9) FOR PROPERTY SETBACKS AND BUFFER YARDS CONSULT THE CITY OF GREENVILLE ZONING ORDINANCE.
  - 10) UNDERGROUND UTILITIES PLOTTED FROM FIELD OBSERVATIONS, ABOVE GROUND EVIDENCE AND GIS INFORMATION PROVIDED BY GUC.

GRAPHIC SCALE: 1" = 20'

REV. NO.	DATE	REVISIONS	BY
1	05/02/16	OWNER COMMENTS; UPDATE S.O.T.	WBH
2	05/13/16	OWNER COMMENTS	WBH

**TOPOGRAPHIC SURVEY**

**GREENVILLE UTILITIES COMMISSION**

**5th & PITT ST. PARKING**

GREENVILLE TOWNSHIP - PITT COUNTY - NORTH CAROLINA

**Rivers**  
ENGINEERS & ASSOCIATES, INC.  
riversandassociates.com Since 1918  
107 East Second Street  
Greenville, NC 27858  
(252) 752-4195  
Landscape Architects

NC License: F-8334

Project No. **2016034**

Drawing No. **W-3679**

Scale **AS NOTED**

Sheet No. **C2** of **X**

Survey - Draft LC/KB  
Design - Check -  
Project No. **2016034**  
Drawing No. **W-3679**  
Scale **AS NOTED**  
Sheet No. **C2** of **X**

June 10, 2016

**THE EAST GROUP, P.A.**

Engineering • Architecture • Surveying • Technology  
S. Evans St., Greenville, NC 27834 252-758-3746, 252-830-3554 (Fax)

PROJECT TITLE

**GREENVILLE UTILITIES COMMISSION**

**CITY OF GREENVILLE, PITT CO., N.C.**

DRAWING TITLE

**LOCATION AND TOPO SURVEY**

SCALE  
1" = 20'

DRAWN BY  
**WBH**

CHECKED  
**AS NOTED**

APPROVED  
**SU1**

DEPARTMENT  
**SURVEY**

DATE STARTED  
**12/10/15**

SHEET NO.  
**20140152**

NOTE:  
BOUNDARY AND TOPOGRAPHICAL SURVEY  
PROVIDED BY THE EAST GROUP, P.A.

**GENERAL DEMOLITION NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
4. PRE-CONSTRUCTION CONFERENCE MUST BE HELD WITH CITY OF GREENVILLE ENGINEERING DIVISION AND GREENVILLE UTILITIES COMMISSION PRIOR TO BEGINNING WORK.
5. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO INITIATING ANY LAND DISTURBING ACTIVITIES, INCLUDING DEMOLITION.
6. REMOVE EXISTING BUILDINGS INCLUDING SLABS, FOOTINGS, FOUNDATIONS, AND CONCRETE WALKS.
7. EXISTING ASPHALT, CONCRETE AND STONE PARKING AREAS SHALL BE REMOVED AS NOTED ON THE PLANS.
8. ALL DEMOLITION WASTE AND DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
9. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED.
10. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
11. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
12. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE NCDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH THE LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
13. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
14. REMOVE EXISTING ON-SITE TREES, SHRUBS AND HEDGES AS SHOWN ON PLANS UNLESS OTHERWISE NOTED. PRIOR TO REMOVAL OF TREES AND SHRUBS WITHIN 15' OF BOUNDARY, CONTRACTOR WILL COORDINATE WITH GUC REPRESENTATIVE, GREG ROBESON (252) 329-2156.
15. EXISTING ELECTRIC, CABLE TV AND TELEPHONE FACILITIES SERVING THIS PROPERTY ALSO PROVIDE SERVICE TO ADJOINING PROPERTIES. CONTRACTOR SHALL PROTECT SAID FACILITIES UNTIL ABANDONMENT BY UTILITY OWNERS.

**CONSTRUCTION SEQUENCE:**

THIS PROJECT CONSISTS OF DEMOLITION OF EXISTING, PARKING LOTS, DRIVEWAYS, CONCRETE WALKS, AND UTILITIES.

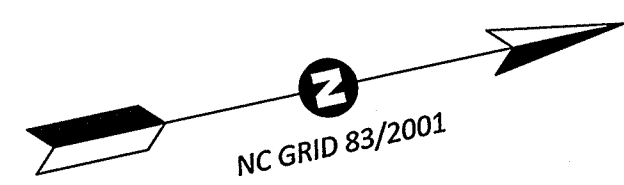
CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE EROSION CONTROL OFFICER PRIOR TO INITIATING LAND DISTURBING ACTIVITIES.

- |                                   |         |
|-----------------------------------|---------|
| 1. EROSION CONTROL IMPLEMENTATION | 1 WEEK  |
| 2. DEMOLITION                     | 1 WEEK  |
| 3. ROUGH GRADING                  | 1 WEEK  |
| 4. INSTALLATION OF PARKING LOT    | 4 WEEKS |
| 5. SEEDING & MULCHING             | 1 WEEK  |

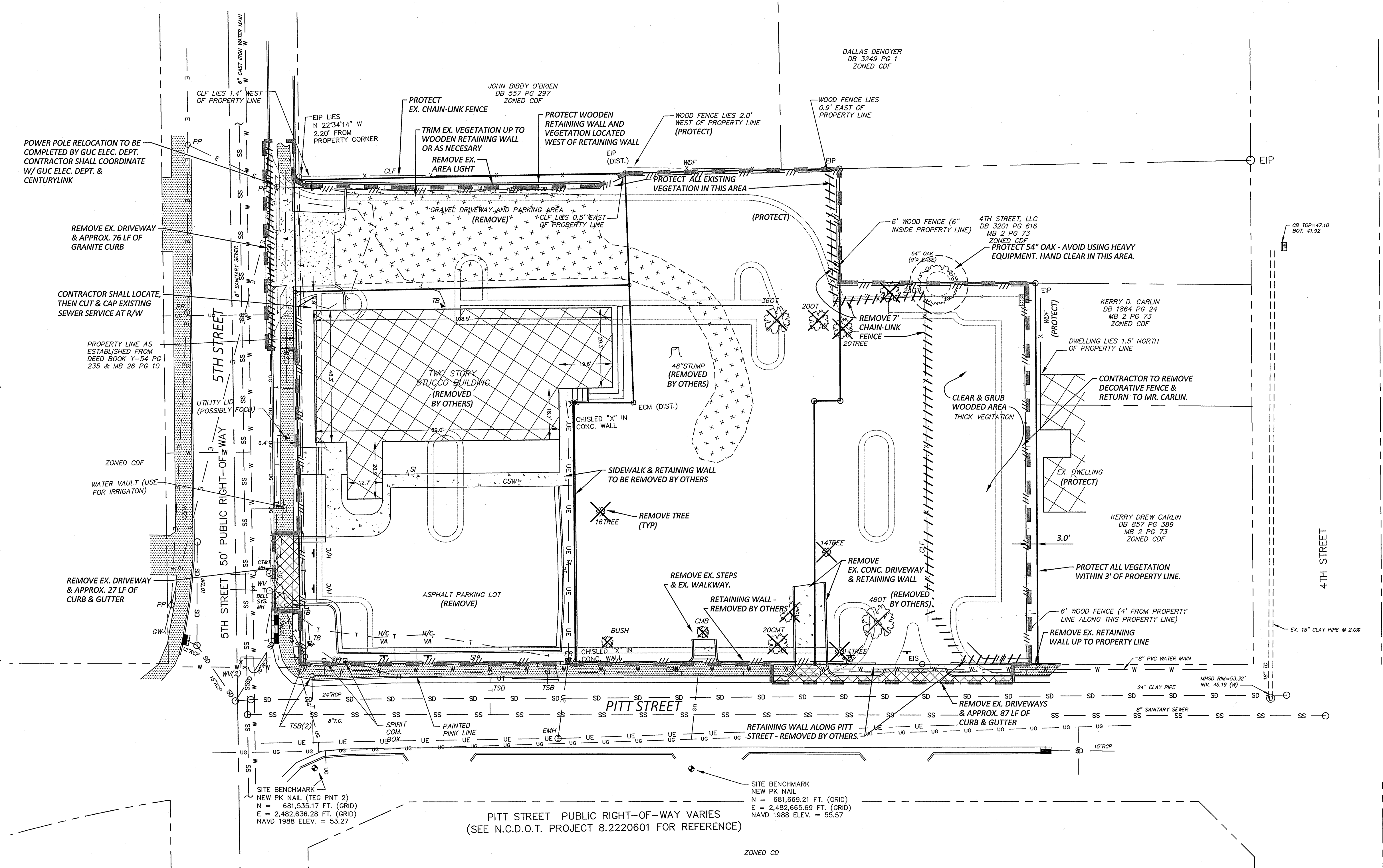
SINCE SOME ITEMS WILL BE PERFORMED CONCURRENTLY, AN ANTICIPATED COMPLETION TIME OF SIX (6) WEEKS IS EXPECTED FOR THIS PROJECT.

**UTILITY CONTACTS:**

1. WATER & SANITARY SEWER - GUC  
CLIFF CAHOON (252) 551-3386
2. ELECTRIC - GUC  
CHRIS COREY (252) 551-1586
3. NATURAL GAS - GUC  
DURK TYSON (252) 551-2048
4. CABLE TV - SUDDENLINK  
ROBERT AVERY (252) 883-3384
5. TELEPHONE - CENTURYLINK  
SHARON JONES (252) 321-9411
6. STORM DRAINAGE & PUBLIC STREETS - CITY OF GREENVILLE  
SCOTT GODFREY (252) 329-4525

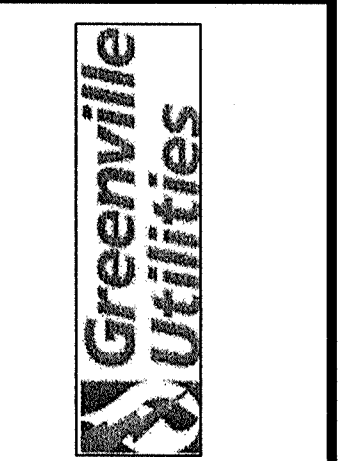


NOTE:  
COMBINED SCALE FACTOR = 0.99989171  
ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS IN FEET AND DECIMALS THEREOF UNLESS NOTED OTHERWISE.  
ALL COORDINATES SHOWN ARE RELATIVE TO NAD 83/2011 COORDINATE ADJUSTMENTS.



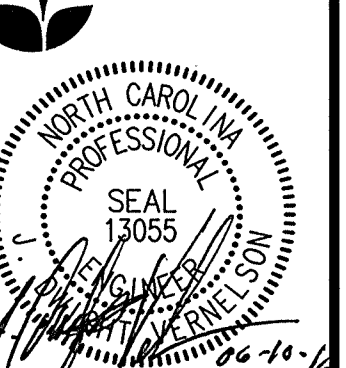
REVISIONS:

REV.	DATE	DESCRIPTION

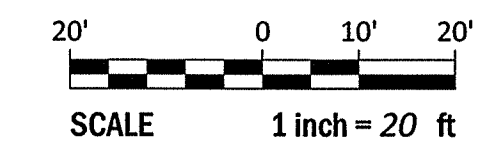
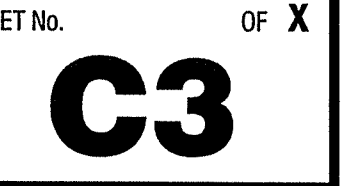


**DEMOLITION PLAN**  
**GREENVILLE UTILITIES COMMISSION**  
**5th & PITT ST. PARKING**  
 GREENVILLE TOWNSHIP - PITT COUNTY - NORTH CAROLINA

**Rivers & Associates, Inc.**  
 ENGINEERS, ARCHITECTS, PLANNERS  
 107 East Second Street  
 Greenville, NC 27834  
 (252) 792-4135



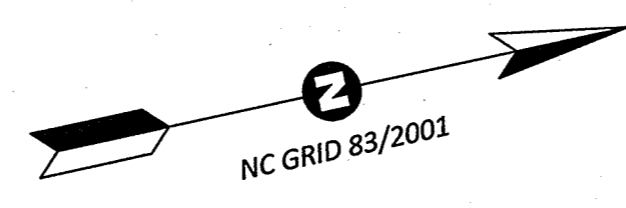
June 10, 2016  
 SURVEY - DRAFT LC/KB  
 DESIGN - JDV CHECK - JDV  
 PROJECT No. 2016034  
 DRAWING No. W-3679  
 SCALE: AS NOTED  
 SHEET No. OF X



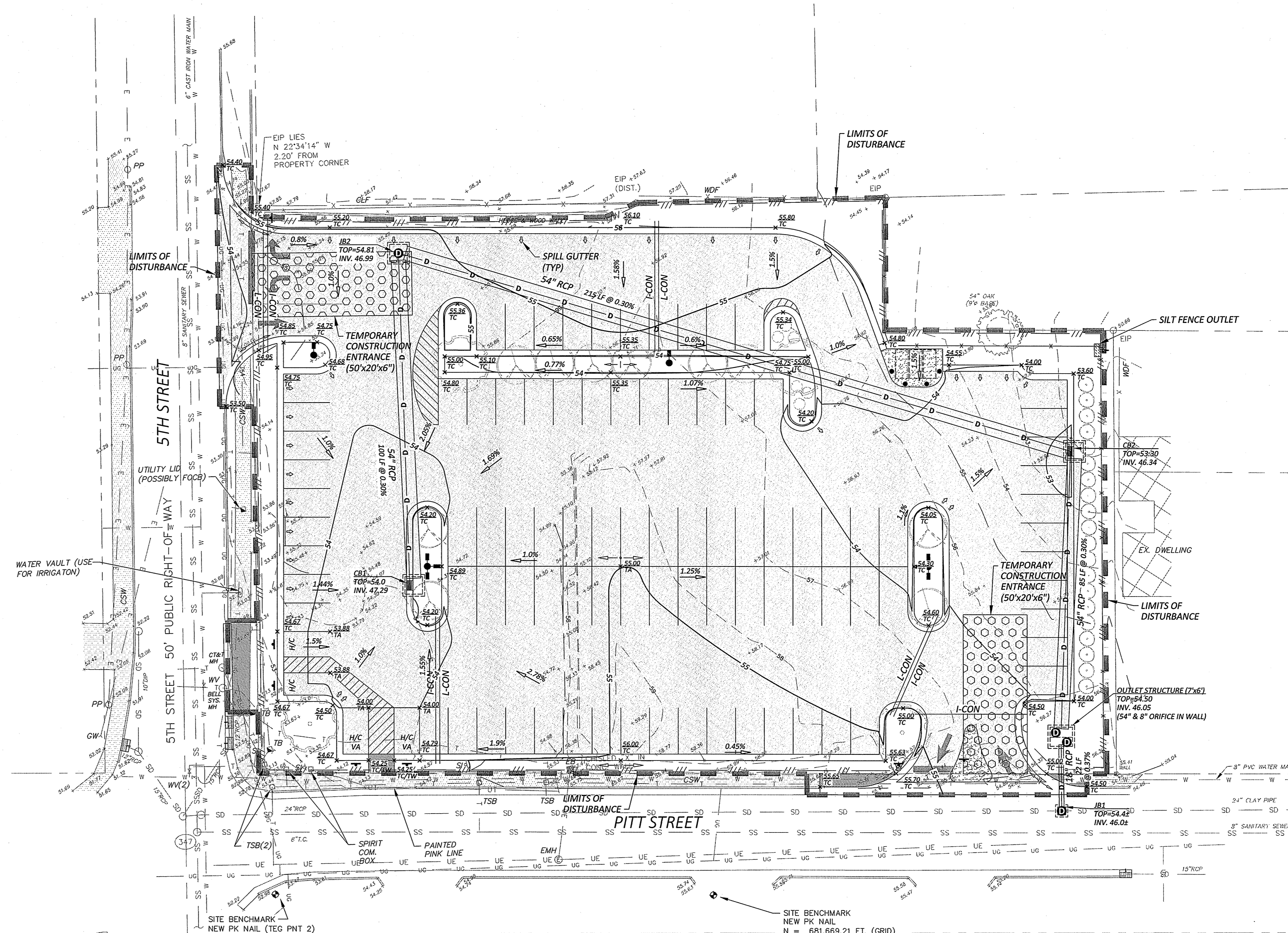
Plan and Utility: 5th and Pitt Streets - 2016034.dwg, 06/10/2016, 10:52:29 AM, P:\Projects\2016\2016034.dwg, 10/10/2016, 10:52:29 AM

**GRADING NOTES:**

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RIVERS AND ASSOCIATES, INC., THE CURRENT REQUIREMENTS OF THE CITY OF GREENVILLE, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL, STATE AND LOCAL LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. ONE CALL AT (811). THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
6. ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
7. ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
8. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
9. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
10. CITY OF GREENVILLE STORMWATER REGULATIONS SHALL BE MET.
11. CONTRACTOR SHALL DROP TOP OF CURB ON DRIVEWAYS AS MARKED, TO PROVIDE FOR FUTURE HANDICAPPED RAMP.
12. USE 30" CONCRETE CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY ON 5TH STREET AND PITT STREET. TRANSITION TO 24" CURB AND GUTTER IN 10' LENGTH. USE 24" CURB AND GUTTER ON SITE.
13. CONTRACTOR TO PROVIDE/INSTALL CONDUIT FOR IRRIGATION AND ELECTRICAL/PARKING LOT LIGHTING (WITH PULL LINES) IN ALL PAVED AREAS.
14. CONTRACTOR SHALL INSTALL STORM SEWER BY BEGINNING AT MOST DOWNSTREAM POINT AND PROGRESS UPSTREAM WITH PIPE LAYING OPERATIONS.
15. PAVEMENT MARKINGS WITHIN SITE CAN BE PAINTED. PAVEMENT MARKINGS WITHIN RIGHT OF WAY SHALL BE THERMOPLASTIC AND SHALL BE INSTALLED IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
16. CONTRACTOR SHALL CONTACT THE FOLLOWING CITY OF GREENVILLE OFFICES PRIOR TO BEGINNING WORK WITHIN RIGHT OF WAY (MIN. 48 HOUR NOTICE REQUIRED): CITY OF GREENVILLE (252) 329-4525
17. MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES AND APPURTENANCES SHALL BE RESPONSIBILITY OF THE DEVELOPER.
18. PROPOSED TOP OF CURB GRADES SHOWN ALONG 5TH STREET AND PITT STREET ARE APPROXIMATE ONLY. FINAL GRADES WILL BE FIELD ADJUSTED TO PROVIDE POSITIVE DRAINAGE AND TIE INTO EXISTING ROADWAY. FINAL GRADE FOR JUNCTION BOX SHALL BE FIELD ADJUSTED AS NECESSARY TO MATCH EXISTING STREET GRADE.

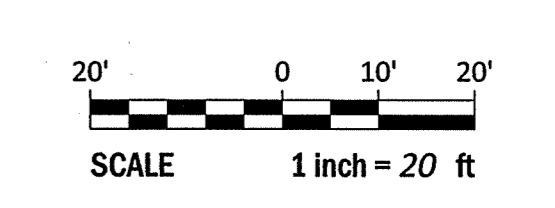


NOTE:  
COMBINED SCALE FACTOR = 0.99989171  
ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS IN FEET AND DECIMALS THEREOF UNLESS NOTED OTHERWISE.  
ALL COORDINATES SHOWN ARE RELATIVE TO NAD 83/2011 COORDINATE ADJUSTMENTS.



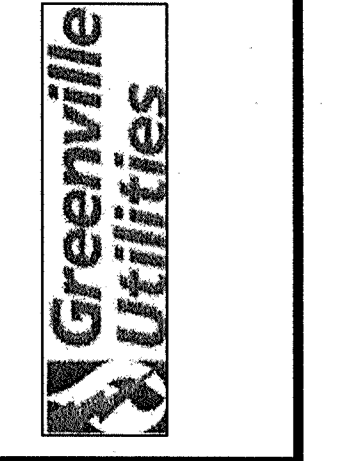
PITT STREET PUBLIC RIGHT-OF-WAY VARIES (SEE N.C.D.O.T. PROJECT 8.2220601 FOR REFERENCE)

36 CB HOOD = 54.67 INV = 50.92	345 JB TOP = 52.14 INV = 47.59
58 CB HOOD = 52.57 INV = 49.67	346 JB TOP = 52.05 INV = 47.65
59 CB HOOD = 52.53 INV = 49.83	347 SSMH TOP = 52.14 INV = 44.24
163 CB HOOD = 51.98 INV = 49.18	348 JB TOP = 51.56 INV = 48.96
	349 JB TOP = 51.95 INV = 46.65 (FILLED WITH WATER)



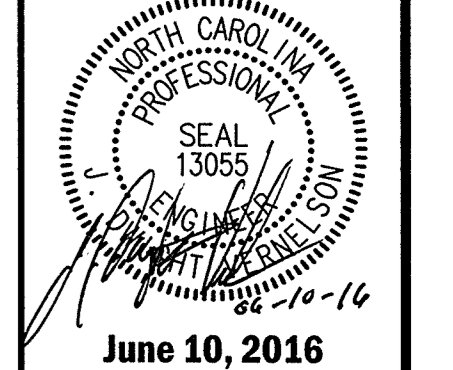
REVISIONS:

REV.	DATE	DESCRIPTION

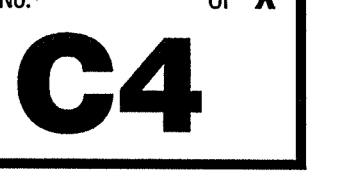


**EROSION CONTROL & GRADING PLAN**  
**GREENVILLE UTILITIES COMMISSION**  
**5th & PITT ST. PARKING**  
 GREENVILLE TOWNSHIP - PITT COUNTY - NORTH CAROLINA

**Rivers & Associates, Inc.**  
 ENGINEERS ARCHITECTS  
 107 East Second Street  
 Greenville, SC 29608  
 (252) 752-4135



DATE	DESIGN	DRAWN	CHECKED	DATE
	JDV	JDV	JDV	
PROJECT No.	<b>2016034</b>			
DRAWING No.	<b>W-3679</b>			
SCALE:	<b>AS NOTED</b>			
SHEET No.	<b>OF X</b>			



**EROSION CONTROL MEASURES:**

- 1. ALL WORK WILL BE DONE IN ACCORDANCE WITH THE CITY OF GREENVILLE EROSION CONTROL ORDINANCE...
2. PRIOR TO BEGINNING DEMOLITION, EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE CONSTRUCTION DRAWINGS...
3. DISTURBED AREAS SHALL BE SEEDED AND MULCHED TO STABILIZE THE SOIL...
WHEN HYDROSEEDING EQUIPMENT IS USED FOR SEEDING, FERTILIZER SHALL BE APPLIED SIMULTANEOUSLY WITH SEED...

**PERMANENT SEEDING SCHEDULE (ENTIRE SITE)**

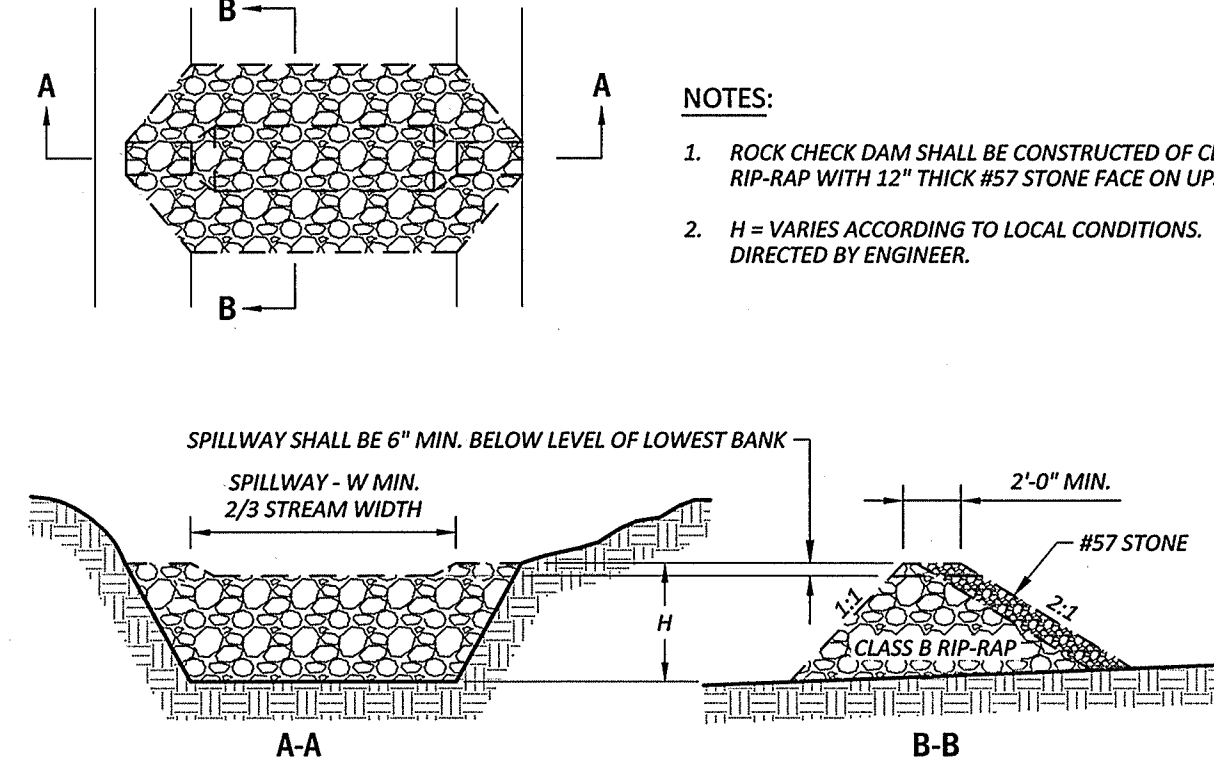
Table with 2 columns: SEED BED PREPARATION (LIME, FERTILIZER), SEEDING MIXTURE (COMMON BERMUDA GRASS, RYE), and SEED BED PROTECTION (STRAW MULCH, ASPHALT TACK).

- 4. GROUND STABILIZATION (PER NCG10000)
a. SOIL STABILIZATION ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED...
b. PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL...
5. SELF INSPECTION AND REPORTING REQUIREMENTS (PER NCG10000)

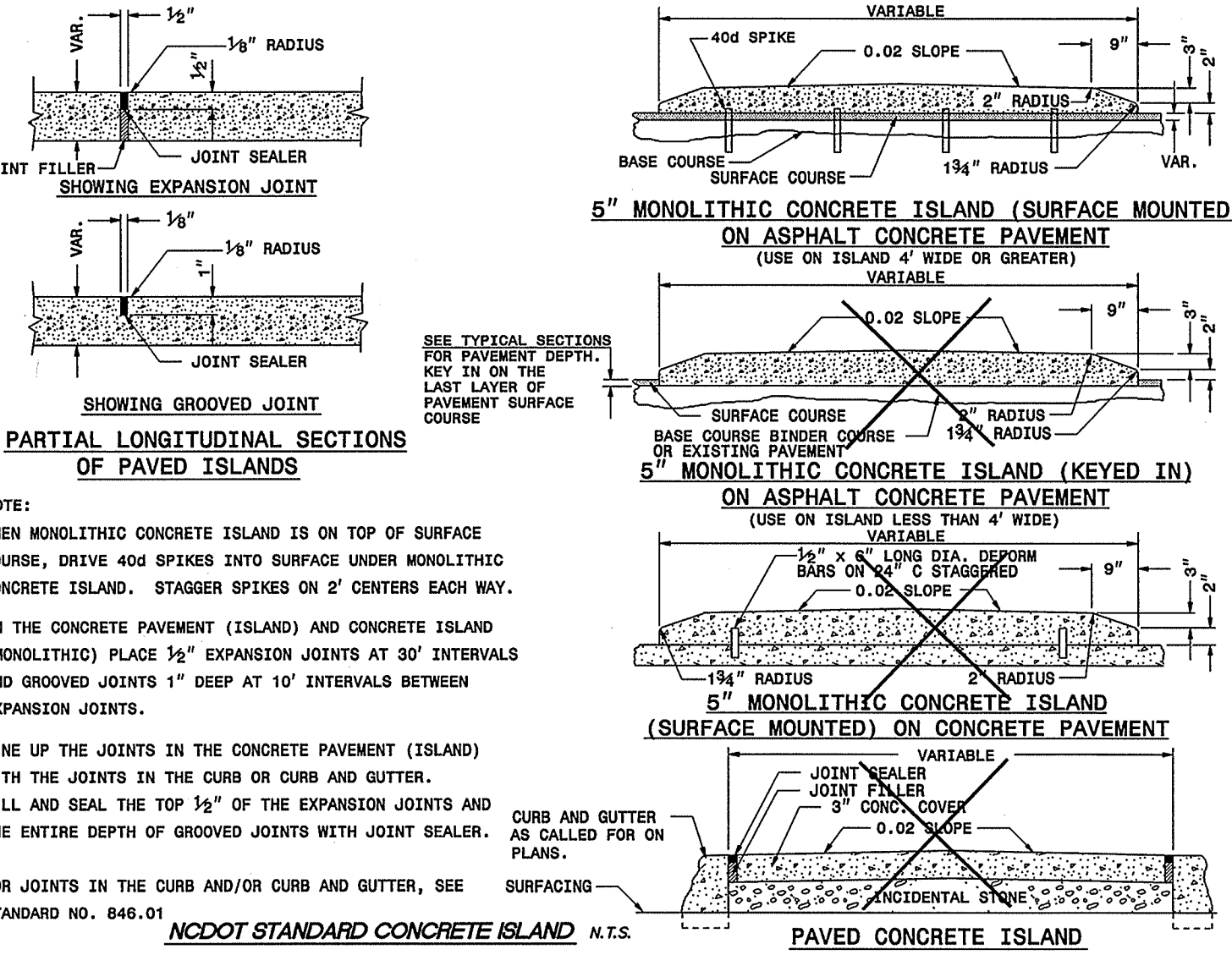
- MINIMUM SELF INSPECTION AND REPORTING REQUIREMENTS ARE AS FOLLOWS UNLESS OTHERWISE APPROVED IN WRITING BY THE DIVISION OF WATER QUALITY...
a. A RAIN GAUGE SHALL BE MAINTAINED IN GOOD WORKING ORDER ON THE SITE UNLESS ANOTHER RAIN MONITORING DEVICE HAS BEEN APPROVED...
b. A WRITTEN RECORD OF THE DAILY RAINFALL AMOUNTS SHALL BE RETAINED AND ALL RECORDS SHALL BE MADE AVAILABLE TO DWQ OR AUTHORIZED AGENCY UPON REQUEST...
c. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED TO ENSURE THAT THEY ARE OPERATING CORRECTLY...
d. ALL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE INSPECTED BY OR UNDER THE DIRECTION OF THE PERMITTEE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS...
e. ONCE LAND DISTURBANCE HAS BEGUN ON THE SITE, STORMWATER RUNOFF DISCHARGE OUTFALLS SHALL BE INSPECTED BY OBSERVATION FOR EROSION, SEDIMENTATION AND OTHER STORMWATER DISCHARGE CHARACTERISTICS...
f. INSPECTIONS ARE ONLY REQUIRED TO BE MADE DURING NORMAL BUSINESS HOURS...
g. THE PERMITTEE SHALL REPORT TO THE DIVISION OF WATER QUALITY CENTRAL OFFICE OR THE APPROPRIATE REGIONAL OFFICE ANY VISIBLE SEDIMENT BEING DEPOSITED IN ANY STREAM OR WETLAND...
h. A WRITTEN SUBMISSION SHALL BE PROVIDED TO THE APPROPRIATE REGIONAL OFFICE OF THE DWQ WITHIN 5 DAYS OF THE TIME THE PERMITTEE BECOMES AWARE OF THE CIRCUMSTANCES...
i. RECORDS OF INSPECTIONS MADE DURING THE PREVIOUS 30 DAYS SHALL REMAIN ON THE SITE AND AVAILABLE FOR AGENCY INSPECTORS...
j. INSPECTION RECORDS MUST INCLUDE, AT A MINIMUM, THE FOLLOWING:
1. IDENTIFICATION OF THE MEASURES INSPECTED,
2. DATE AND TIME OF THE INSPECTION,
3. NAME OF THE PERSON PERFORMING THE INSPECTION,
4. INDICATION OF WHETHER THE MEASURES WERE OPERATING PROPERLY,
5. DESCRIPTION OF MAINTENANCE NEEDS FOR THE MEASURE,
6. CORRECTIVE ACTIONS TAKEN AND DATE OF ACTIONS TAKEN,
7. STORMWATER DISCHARGE INSPECTIONS: INSPECTION RECORDS MUST INCLUDE AT A MINIMUM:
1. IDENTIFICATION OF THE DISCHARGE OUTFALL INSPECTED,
2. DATE AND TIME OF THE INSPECTION,
3. NAME OF THE PERSON PERFORMING THE INSPECTION,
4. EVIDENCE OF INDICATORS OF STORMWATER POLLUTION SUCH AS OIL SHEEN, FLOATING OR SUSPENDED SOLIDS OR DISCOLORATION,
5. INDICATION OF VISIBLE SEDIMENT LEAVING THE SITE,
6. ACTIONS TAKEN TO CORRECT/PREVENT SEDIMENTATION AND DATE OF ACTIONS TAKEN,
7. VISIBLE SEDIMENTATION FOUND OUTSIDE THE SITE LIMITS: INSPECTION RECORDS MUST INCLUDE:
1. AN EXPLANATION AS TO THE ACTIONS TAKEN TO CONTROL FUTURE RELEASES,
2. ACTIONS TAKEN TO CLEAN UP OR STABILIZE THE SEDIMENT THAT HAS LEFT THE SITE LIMITS AND DATE OF ACTIONS TAKEN,
8. VISIBLE SEDIMENTATION FOUND IN STREAMS OR WETLANDS: ALL INSPECTIONS SHOULD INCLUDE EVALUATION OF STREAMS OR WETLANDS ONSITE OR OFFSITE (WHERE ACCESSIBLE) TO DETERMINE IF VISIBLE SEDIMENTATION IS OCCURRING,
9. VISIBLE STREAM TURBIDITY - IF THE DISCHARGE FROM A SITE RESULTS IN VISIBLE STREAM TURBIDITY, INSPECTION RECORDS MUST RECORD THAT EVIDENCE AND ACTIONS TAKEN TO REDUCE SEDIMENT CONTRIBUTIONS...
10. ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL ALL SEEDING IS ESTABLISHED AND CONSTRUCTION AREAS HAVE BEEN STABILIZED,
11. TEMPORARY SEEDING - SEED IN ACCORDANCE WITH SOIL CONSERVATION SERVICE RECOMMENDATIONS WITH REGARD TO SEED TYPE, RATE OF APPLICATION, FERTILIZER, ETC.

**EROSION CONTROL PROVISIONS**

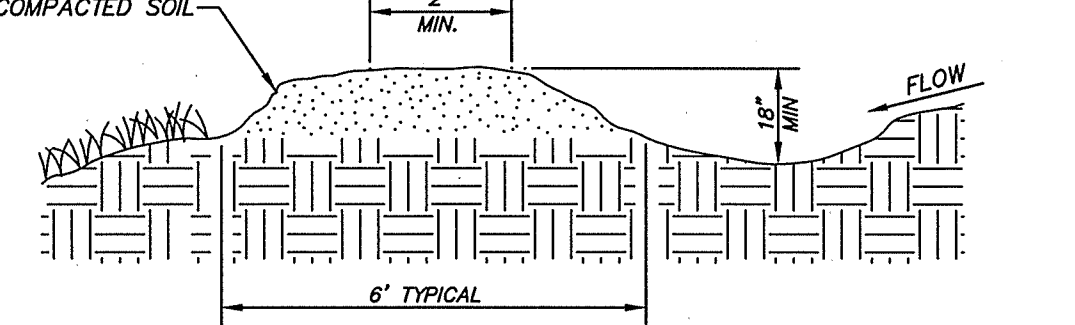
- 1. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING THE CITY OF GREENVILLE ENGINEERING DEPARTMENT...
2. LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL APPROPRIATE EROSION CONTROL MAY NOT PROCEED UNTIL EROSION CONTROL MEASURES ARE INSPECTED AND APPROVED BY THE CITY...
3. SCHEDULING OF A PRE-CONSTRUCTION CONFERENCE WITH THE EROSION CONTROL INSPECTOR IS REQUIRED PRIOR TO INITIATING LAND DISTURBING ACTIVITIES...
4. INSTALL ROCK INLET SEDIMENT TRAPS AROUND ALL CATCH BASINS, DROP INLETS, AND YARD INLETS...
5. PROVIDE 20' X 50' X 6" STONE CONSTRUCTION ENTRANCES AS SHOWN ON PLAN...
6. SEED OR OTHERWISE PROVIDE GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION FOR ALL EXPOSED SLOPES WITHIN 7 DAYS OF COMPLETION...
7. CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS...
8. THE CITY ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE...
9. ACCEPTANCE AND APPROVAL OF THIS PLAN IS CONDITIONED UPON YOUR COMPLIANCE WITH FEDERAL AND STATE WATER QUALITY LAWS...
10. PLEASE BE ADVISED OF THE RULES TO PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE HEUSE AND TAR RIVER BASINS...



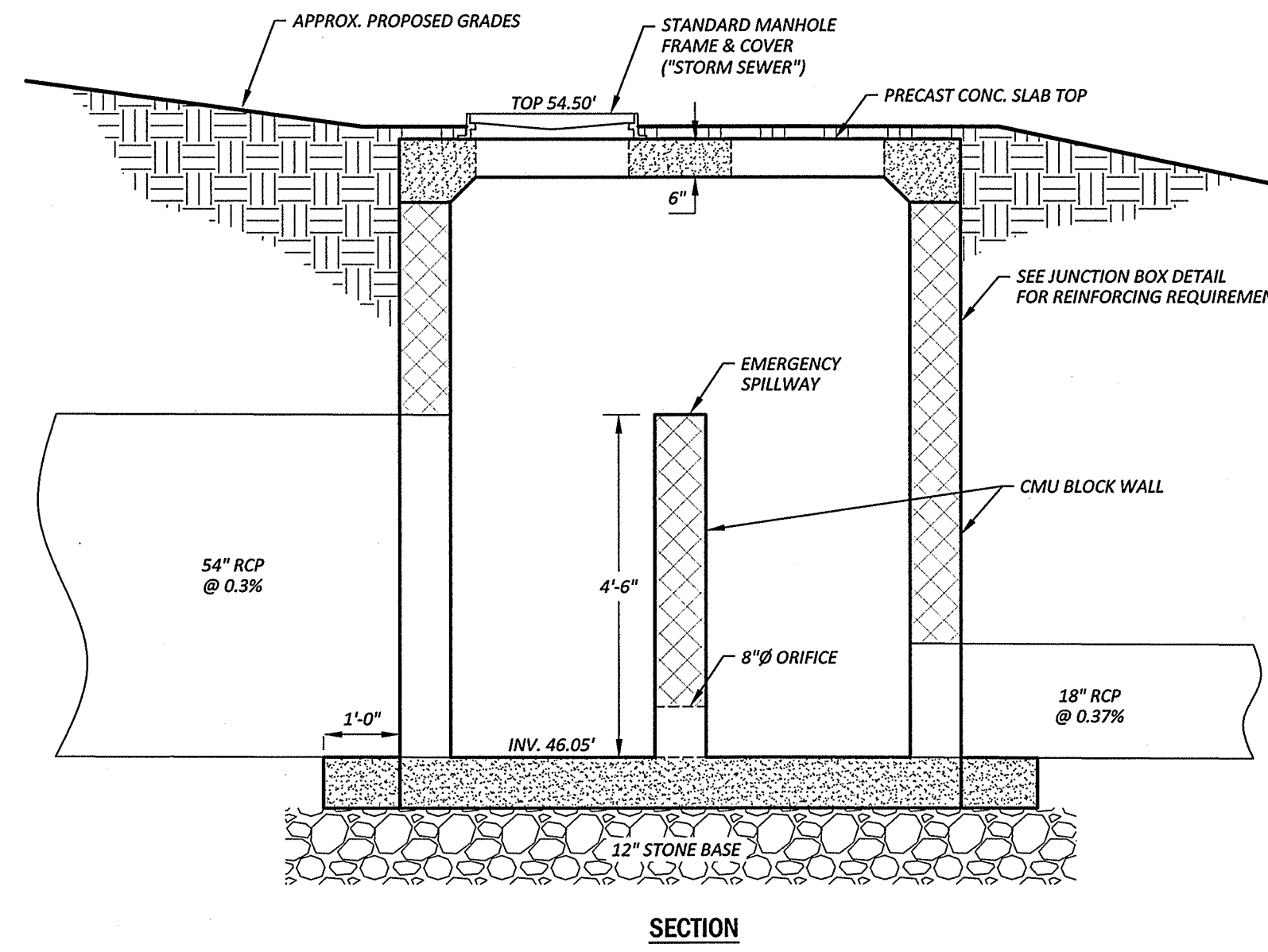
**TEMPORARY ROCK SILT CHECK DAM**



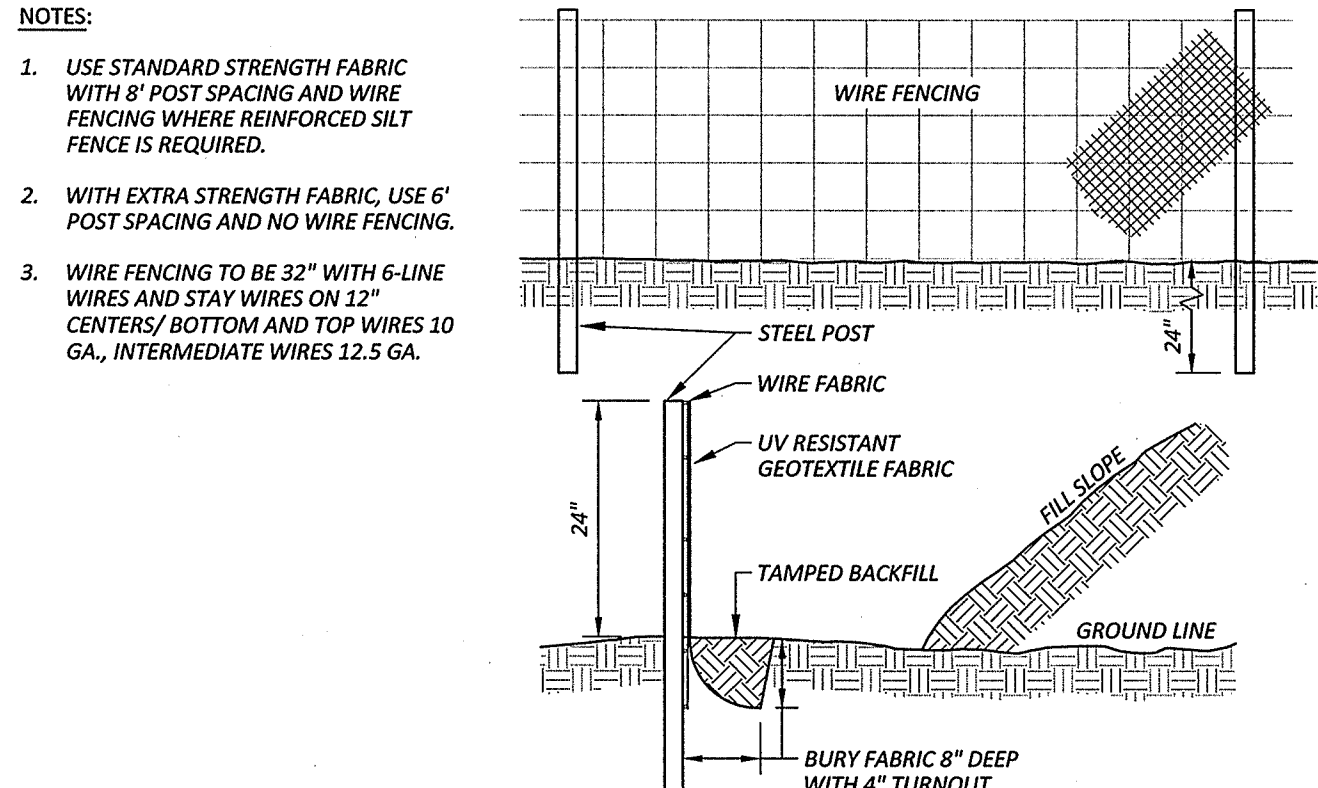
**5' MONOLITHIC CONCRETE ISLAND**



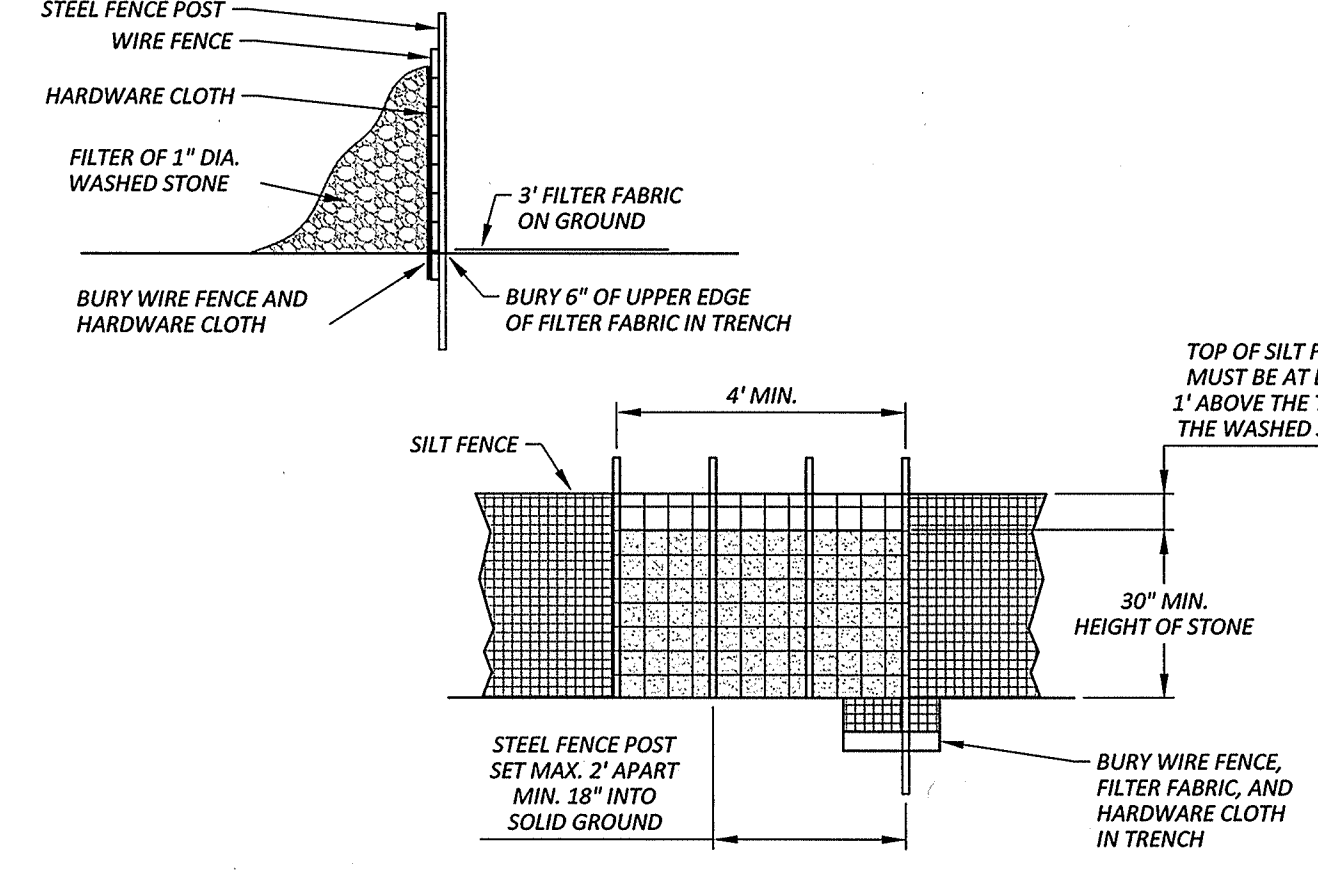
**TEMPORARY DIVERSION DETAIL**



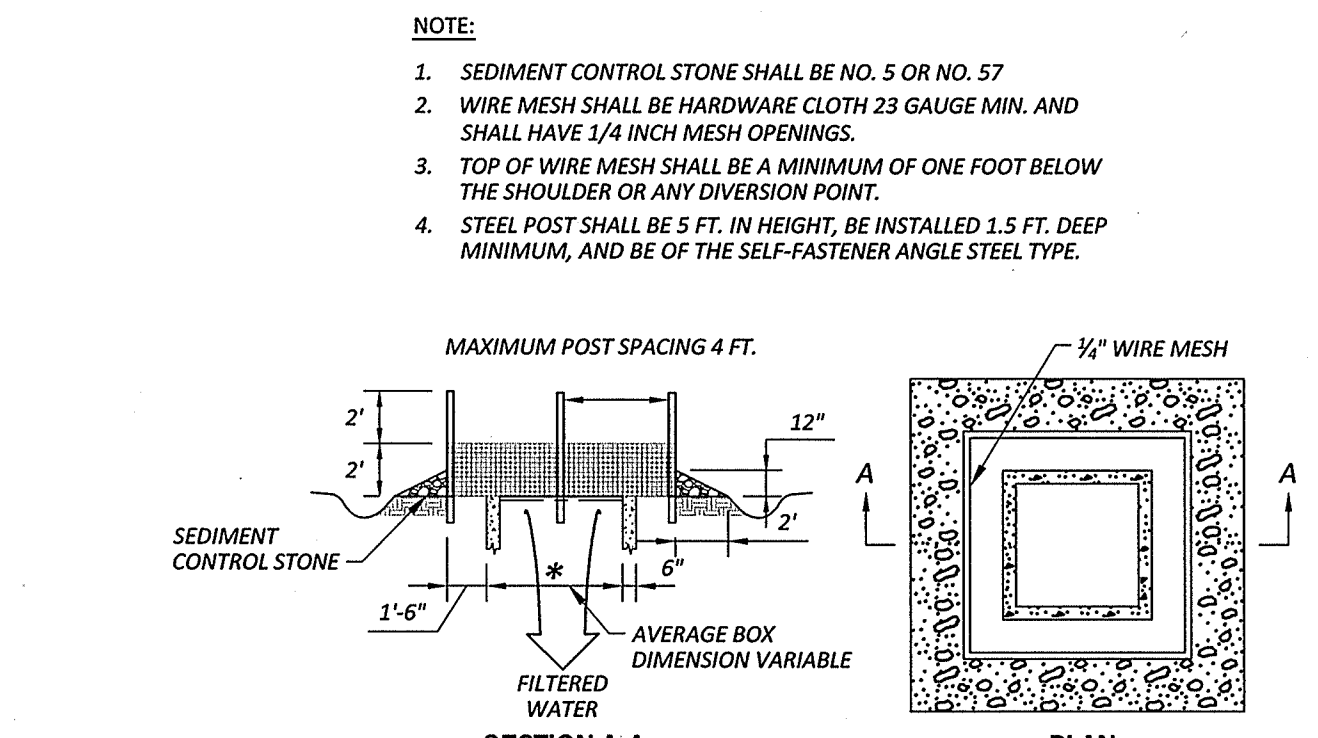
**OUTLET STRUCTURE**



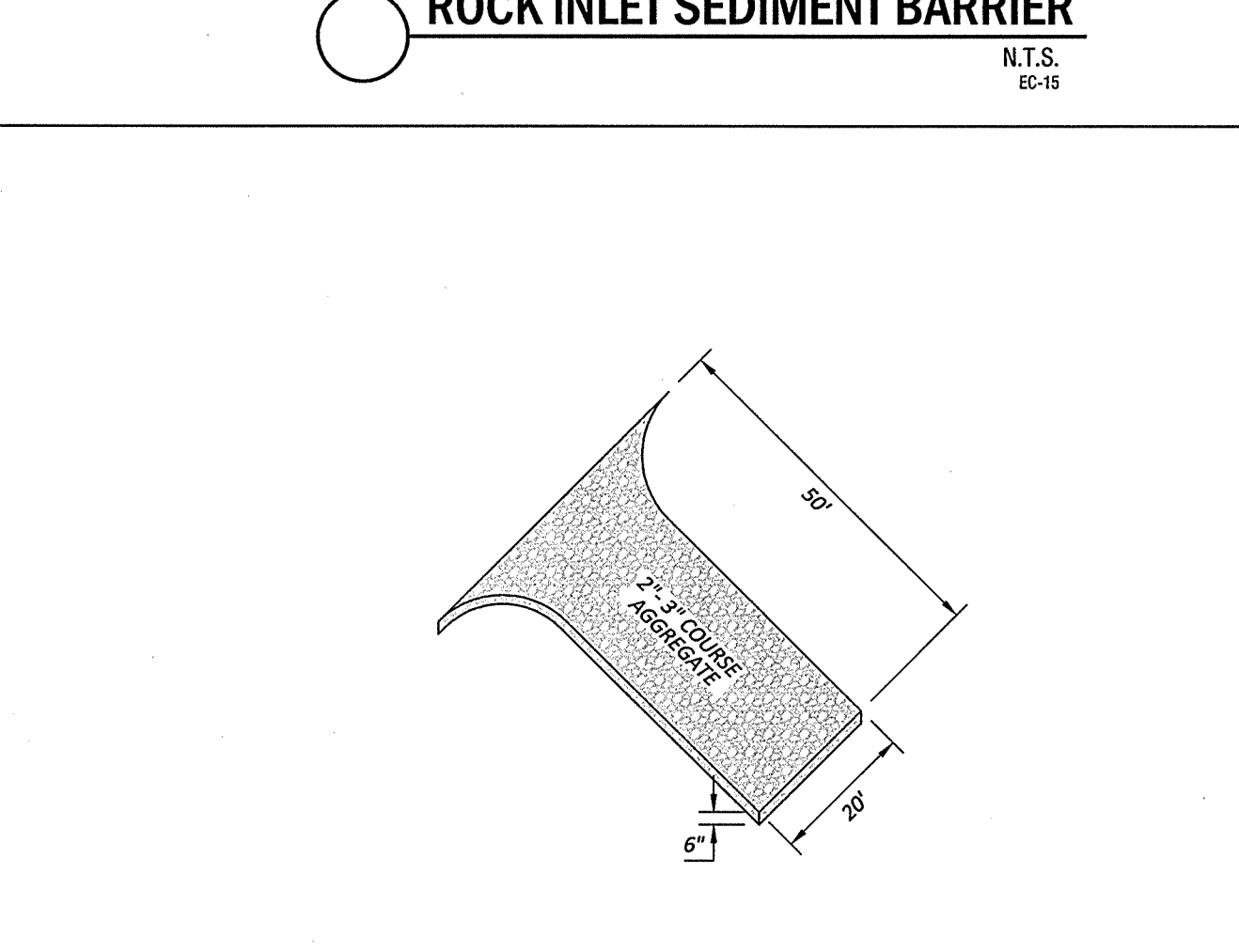
**TEMPORARY SILT FENCE**



**SILT FENCE OUTLET**

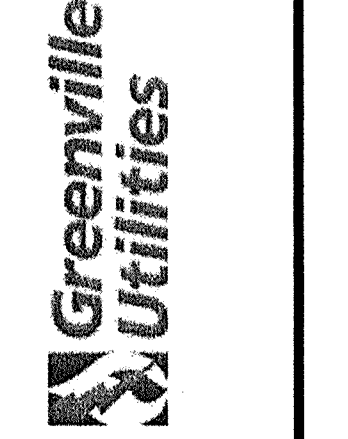


**ROCK INLET SEDIMENT BARRIER**



**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

REVISIONS table with columns for DATE, DESCRIPTION, and REV.



EROSION CONTROL NOTES & MISC. DETAILS
GREENVILLE UTILITIES COMMISSION
5th & PITT ST. PARKING
GREENVILLE TOWNSHIP - PITT COUNTY - NORTH CAROLINA

Rivers & Associates, Inc. logo and contact information including address and phone number.

Professional Engineer seal for Rivers & Associates, Inc. dated June 10, 2016, with project details and drawing information.

### PLANTING REQUIREMENTS

1. LAND AREA FOR VEGETATION REQUIREMENTS: 1.0 AC.  
ZONING: CD.  
LAND USE CLASSIFICATION 3 ADJACENT TO LUC 1

A. REQUIRED VEGETATION (PER SEC. 9-4-263):  
LARGE TREES: 5 (2 EXISTING, 3 PROVIDED)  
SMALL TREES: 10 (10 PROVIDED)  
SHRUBS: 25 (25 PROVIDED)

B. REQUIRED STREET VEGETATION: (PER SEC. 9-4-268(K))  
1 LARGE TREE PER 100 LF  
E. 5th STREET=177' LF= 4 LG TREES REQ./ 1 PROVIDED-  
(PROXIMITY OF UTILITY EASEMENT RESTRICTS PLANTABLE AREA)  
PITT STR.=298 LF= 5 LG TREES REQ./ 1 EXISTING + 2 PROVIDED-  
(PROXIMITY OF UTILITY EASEMENT RESTRICTS PLANTABLE AREA)

### 2. NOTES:

A. MINIMUM PLANT SIZES SHALL BE IN ACCORDANCE WITH THE ZONING REGULATIONS AS FOLLOWS:

PLANTING MATERIAL TYPE	MINIMUM PLANTING SIZE
1. LARGE TREE - SINGLE STEM	10' (HEIGHT) AND 2" CALIPER
2. SMALL TREE	8' (HEIGHT) AND 1.5" CALIPER
3. SHRUB	18" (HEIGHT), EXCEPT AS PROVIDED UNDER SECTION 9-4-267(a)

B. NO PORTION OF ANY PARKING AREA, INCLUDING ANY DRIVEWAY, PARKING SPACE, DRIVE AISLE OR TURNING AREA, SHALL BE LOCATED MORE THAN THIRTY (30) FEET FROM AN ON-SITE SMALL TREE OR MORE THAN SEVENTY-FIVE (75) FEET FROM AN ON-SITE LARGE TREE. FOR PURPOSES OF THIS SECTION, THE MEASUREMENT SHALL BE FROM THE FARTHEST EDGE OF THE SUBJECT AREA TO THE CENTER OF THE BASE OF THE CLOSEST QUALIFYING TREE.

C. SITE PLAN APPROVAL FROM THE RESPECTIVE EASEMENT HOLDER SHALL BE CONSIDERED AS APPROVAL OF ALL ENCROACHMENTS, AS SHOWN ON THIS PLAN. (SEE NOTE ON ITEM 1.D.)

D. THE FOLLOWING VEGETATION MATERIALS, AS LISTED BY COMMON NAME, SHALL CONSTITUTE NOT MORE THAN TWENTY-FIVE (25) PERCENT OF THE TOTAL REQUIREMENT FOR THE SPECIFIC CATEGORY:

A. LARGE TREE CATEGORY -  
RIVER BIRCH

B. SMALL TREE CATEGORY -  
ARISTOCRAT PEAR  
BRADFORD PEAR  
CAPITAL PEAR  
CLEVELAND SELECT PEAR

C. EVERGREEN SHRUB CATEGORY -  
RED TIP PHOTINA

E. NO LARGE TREES TO BE PLANTED WITHIN UTILITY EASEMENTS.

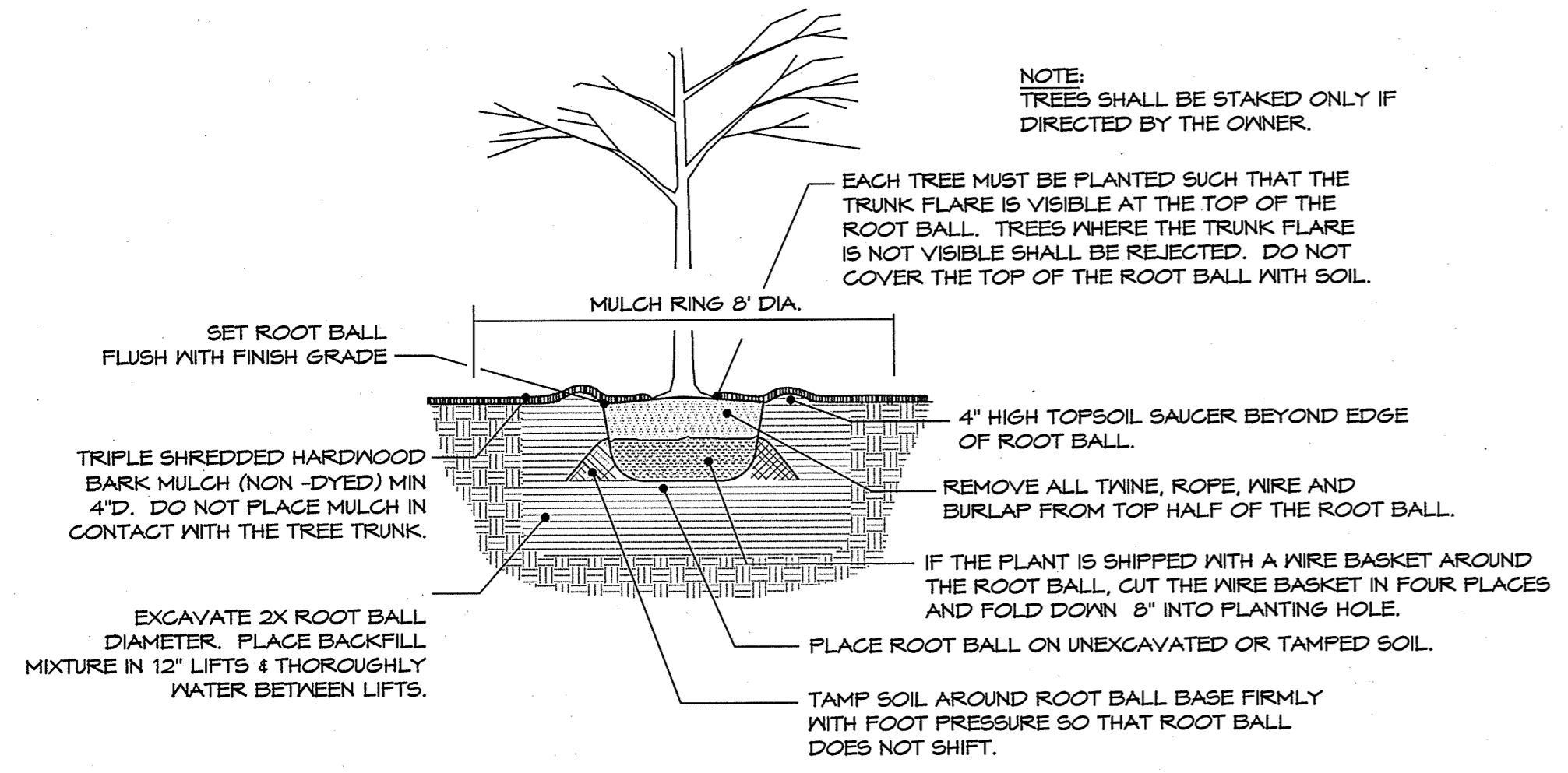
F. DUMPSTER/COMPACTOR SHALL BE SCREENED ON 3 SIDES IN ACCORDANCE WITH SECTION 9-4-268 (I) OF THE CITY CODE.

G. EXISTING SUBSTITUTE VEGETATION MATERIALS HAVE BEEN NOTED INCLUDING THEIR SPECIFIC LOCATION(S), TYPE(S), AND SIZE(S).

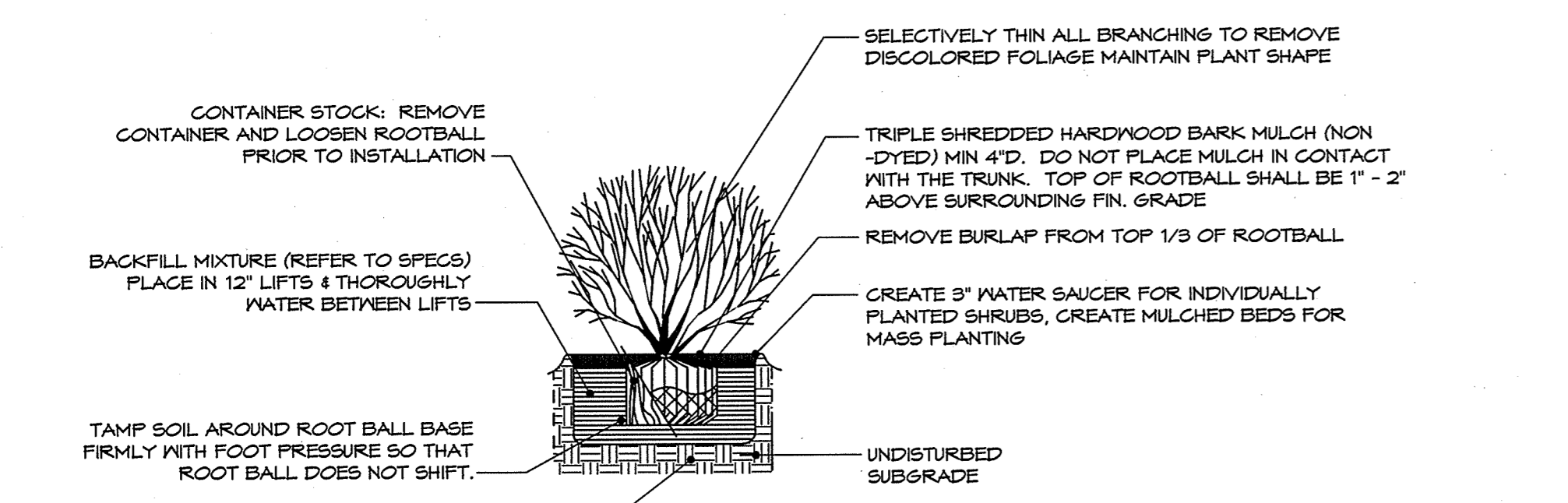
H. EXISTING SUBSTITUTE VEGETATION MATERIAL SHALL BE PROTECTED FROM SITE DEVELOPMENT ACTIVITIES IN ACCORDANCE WITH SEC.

I. PARKING AREAS SHALL BE SCREENED IN ACCORDANCE WITH SECTION 9-4-268 (I) (9.J).

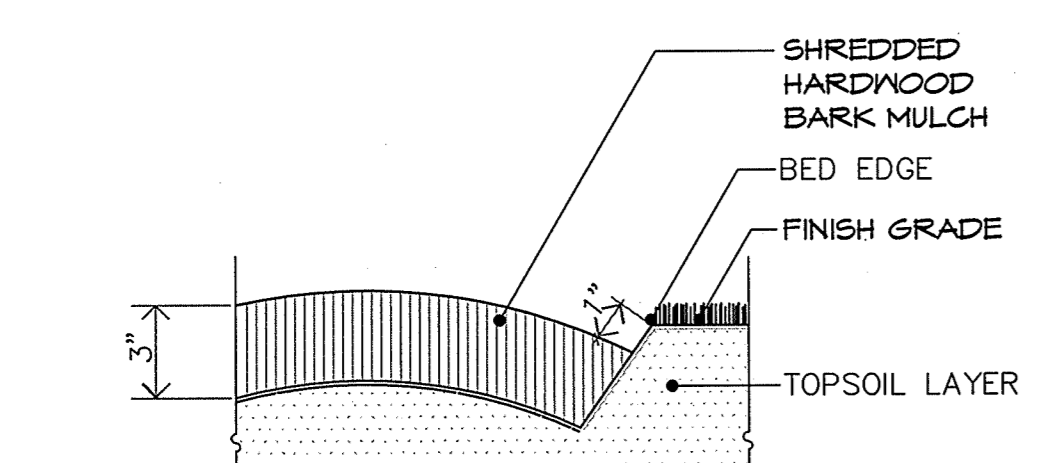
J. MINIMUM OF 3 FT. CLEARANCE MUST BE MAINTAINED AROUND ALL FIRE HYDRANTS IN ACCORDANCE WITH STATE FIRE CODE.



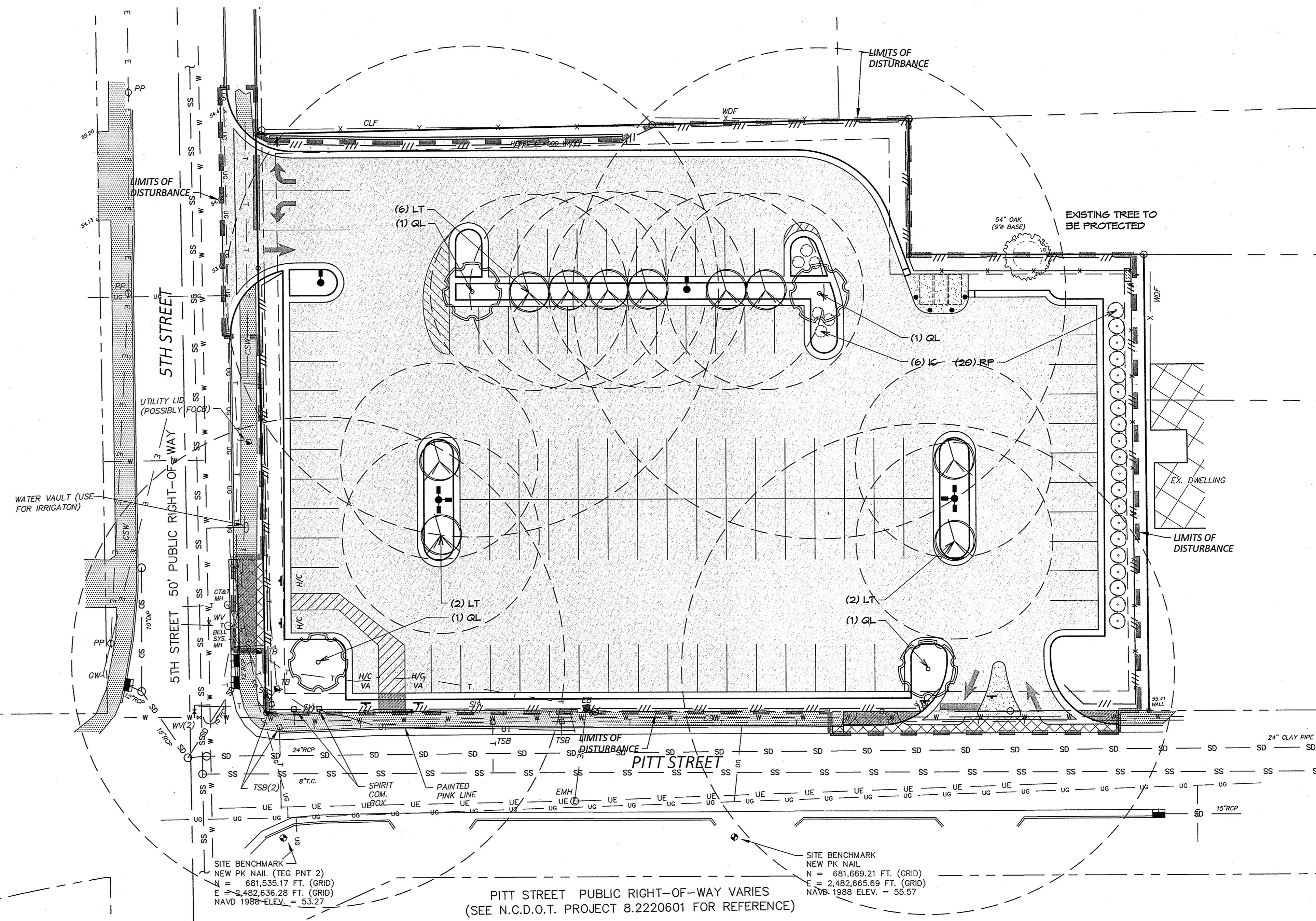
1 LARGE & SMALL TREE PLANTING NTS



2 SHRUB PLANTING NTS



3 PLANTING BED EDGE NTS



### PLANTING SCHEDULE

SYMBOL	KEY	QTY	BOTANICAL NAME (COMMON NAME)	HEIGHT	SPREAD	CALIPER	CONT.	REMARKS
<b>LARGE TREES</b>								
QL	3	3	Quercus lyrata (Overcup Oak)	10'	##	2" MIN.	-	Single, straight central leader Full, symmetrical crown
<b>SMALL TREES</b>								
LT	10	10	Lagerstroemia 'Townhouse' (Townhouse Grape Myrtle)	8' MIN.	##	-	-	Multi-stem, full crown
<b>SHRUBS</b>								
IC	6	6	Ilex crenata 'Hoogendorn' (Hoogendorn Holly)	18" MIN.	##	-	-	Full, symmetrical Plant as shown (2.5' OC min)
RP	20	20	Rhododendron 'Pink Ruffles' (Azalea)	18" MIN.	##	-	-	Full, symmetrical Plant as shown (5' OC)

### PLANTING NOTES

The Contractor shall furnish plant material shown on the drawings, as specified and as indicated on the plant list. The Owner or his authorized representative shall be notified prior to the beginning of planting operations.

STANDARDS: All plants shall be in accordance with the American Standard For Nursery Stock, latest edition, published by the American Association of Nurserymen, Inc. with regard to sizing and description.

QUALITY: All plants shall be nursery grown and hardy under climatic conditions similar to those in the locality of the project. All plants shall be typical of their species or variety and shall have a normal habit of growth. They shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They should be free of disease and insect pests, eggs or larvae. They shall have healthy, well-developed root system.

SUBSTITUTIONS: When plants of a specified kind or size are not available within a reasonable distance, the contractor may make substitutions upon request, if approved by the Project Consultant. Proposal for substitution of plant material shall be submitted at least 5 days prior to the final bid date for consideration.

SIZE: All plants shall conform to the measurements specified on the plant list unless otherwise authorized in writing by the Project Consultant.

PRUNING: Each tree and shrub shall be pruned in accordance with American Association of Nurserymen, Inc. standards to preserve the natural character of the plant. All dead wood or suckers and all broken or badly bruised branches shall be removed.

ROOT SYSTEMS: Balled & burlapped plants shall be dug with firm natural balls of earth of

diameter and depth to include most of the fibrous roots. Container grown stock shall have been grown in a container long enough for the root system to have developed sufficiently to hold its soil together firm and whole. No plants shall be loose in container or ball.

PROTECTION: Root balls trunks, branches and foliage of plants shall be adequately protected at all times from sun and drying wind or frost. Plants with broken root balls or excessive damage to the crown shall be replaced, in kind, prior to installation.

MULCH: Immediately following plant installations all tree and shrub planting pits shall be covered with four (4") layer of triple shredded hardwood mulch (non-dyed). The limits of this mulch for deciduous trees and single evergreen trees shall be the area of the pit; for evergreen tree clusters or shrub masses; a mulched bed shall be created.

ANTI-DESICCANT SPRAY: Trees and when planted in leaf shall be treated with anti-desiccant such as "Anti-Proof".

PLANTING MIX: Before backfilling, the topsoil back fill mixture shall be prepared and mixed to the following proportions:  
Deciduous plants - two parts by volume of topsoil, one part organic compost and five pounds bone meal per cubic yard.  
Evergreen plants - three parts by volume of topsoil and one part organic compost.  
Fertilizer - to the above mixtures, add three pounds of specified commercial fertilizer for trees up to three (3") inches in caliper and one pound per inch of caliper for larger trees. Shrubs shall be fertilized with six (6) ounces of fertilizer for shrubs four (4") feet and over.

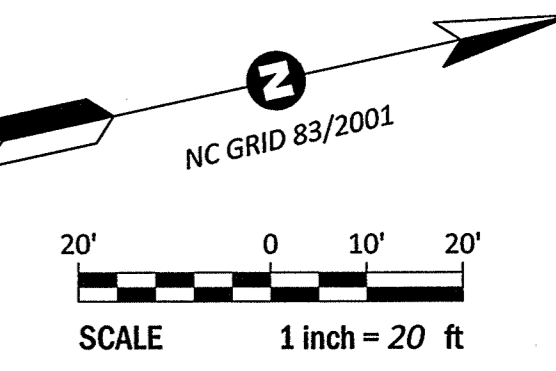
STAKING & GUYING: Trees shall be staked and guyed as is detailed on the drawings and according to accepted industry practice.

LAYOUT: The contractor shall layout with identifiable stakes, the location of all plants and the arrangements and outlines of planting beds as indicated on the drawings. Prior to any excavation of plant pits or preparation of plant beds, the Project Consultant shall approve the layout of planting. All planting shall be at the locations indicated on the drawings. The Contractor shall be responsible for planting at the correct grades, alignment and layout of planting beds. Minor adjustments to tree locations may be necessary due to field conditions and final grading. The Contractor shall notify the Project Consultant if major adjustments are anticipated.

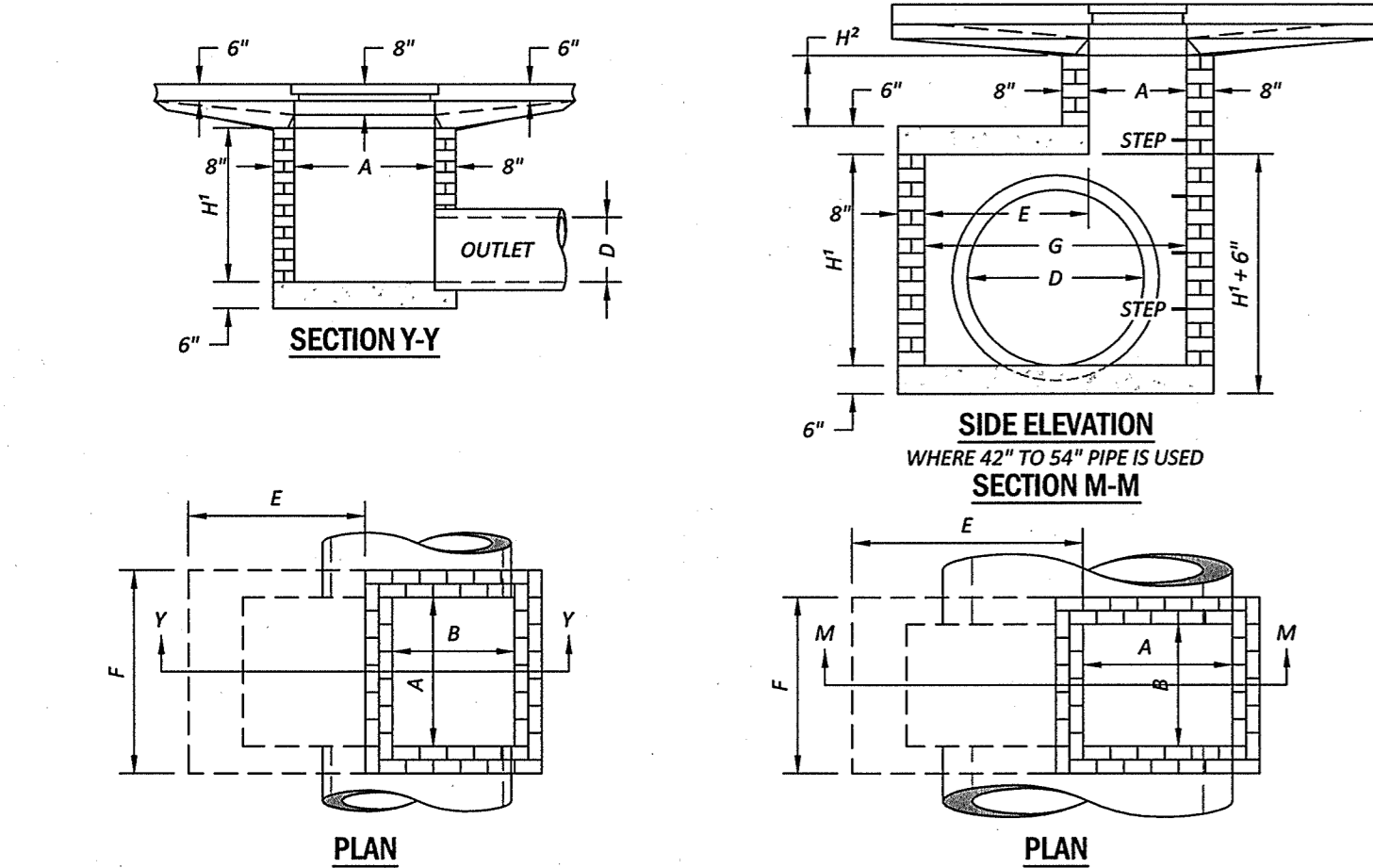
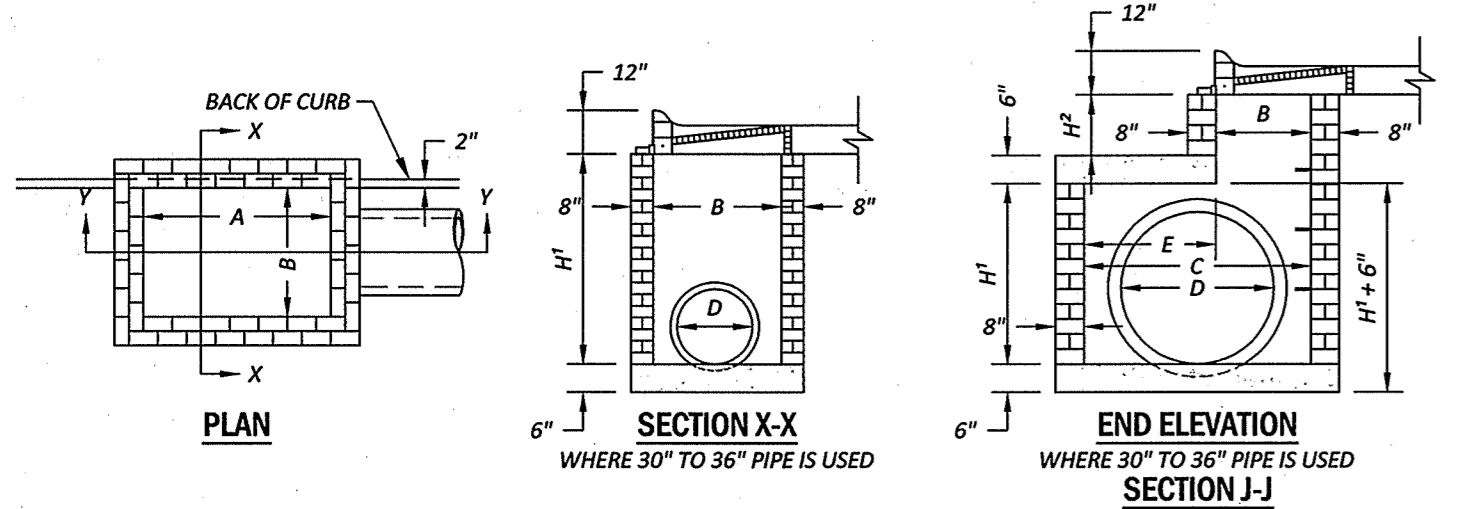
ADVERSE CONDITIONS: The contractor shall notify the Project Consultant in writing of any soil or drainage conditions which the contractor considers detrimental to plant growth. The documented conditions shall include a proposal for correcting the situation, including any change in cost, for review and acceptance by the Project Consultant.

QUANTITY: The quantity of plants in the Plant Schedule is for general reference only. The Contractor shall obtain quantities for pricing by compiling numbers from the plants illustrated on the drawings, should there be a discrepancy between the drawings and the plant schedule, the quantities illustrated on the drawings shall take precedence.

GUARANTEE: The Contractor shall guarantee all plant material for a full year from the date of initial acceptance. The Owner shall be responsible for maintenance unless otherwise agreed. It is the Contractor's responsibility to monitor the project during the guarantee period and notify the Owner in writing if problems are occurring or situations developed that appear detrimental to the plant material. Any plant material that is 25% dead or more shall be considered dead and must be replaced at no charge to the Owner. A tree is considered dead when the main leader has died back or there is 25% of the crown dead.

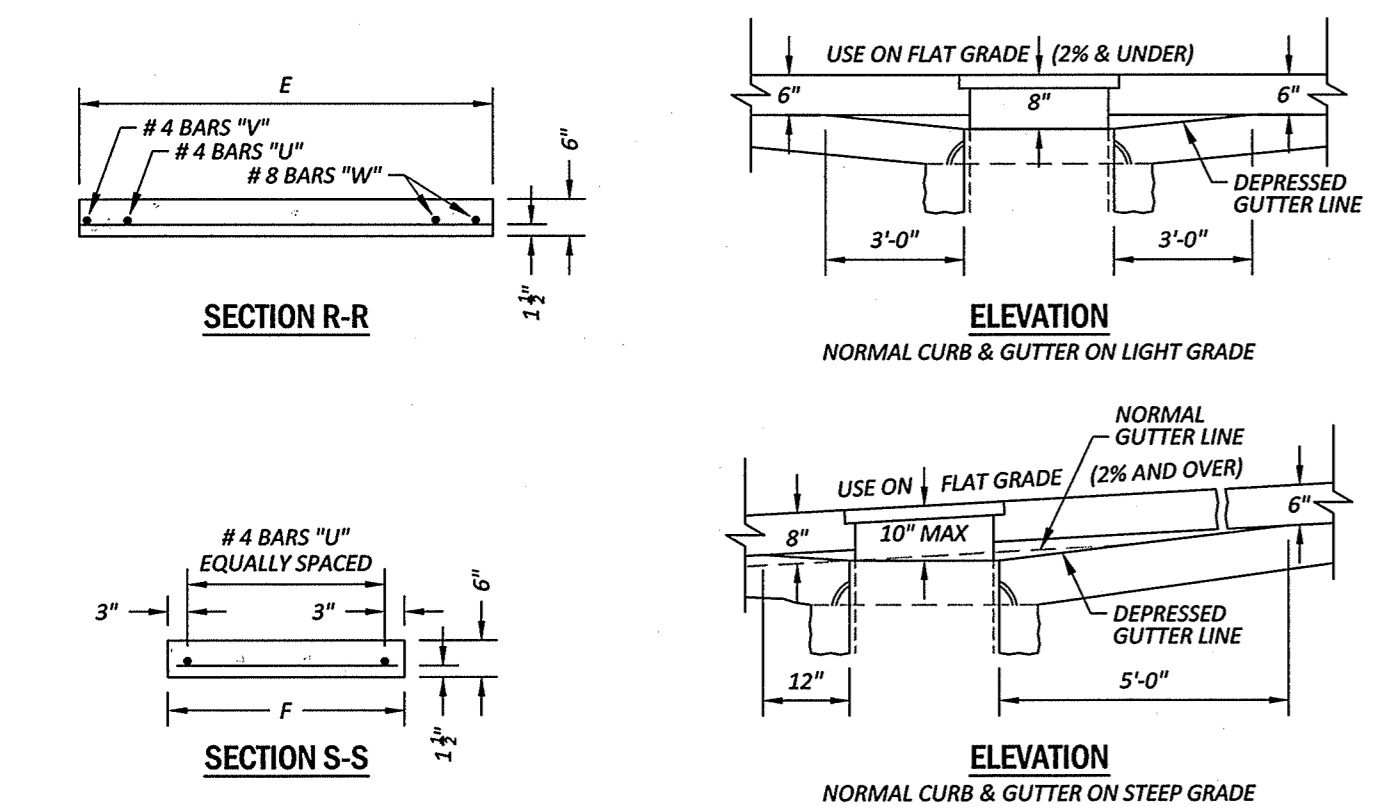
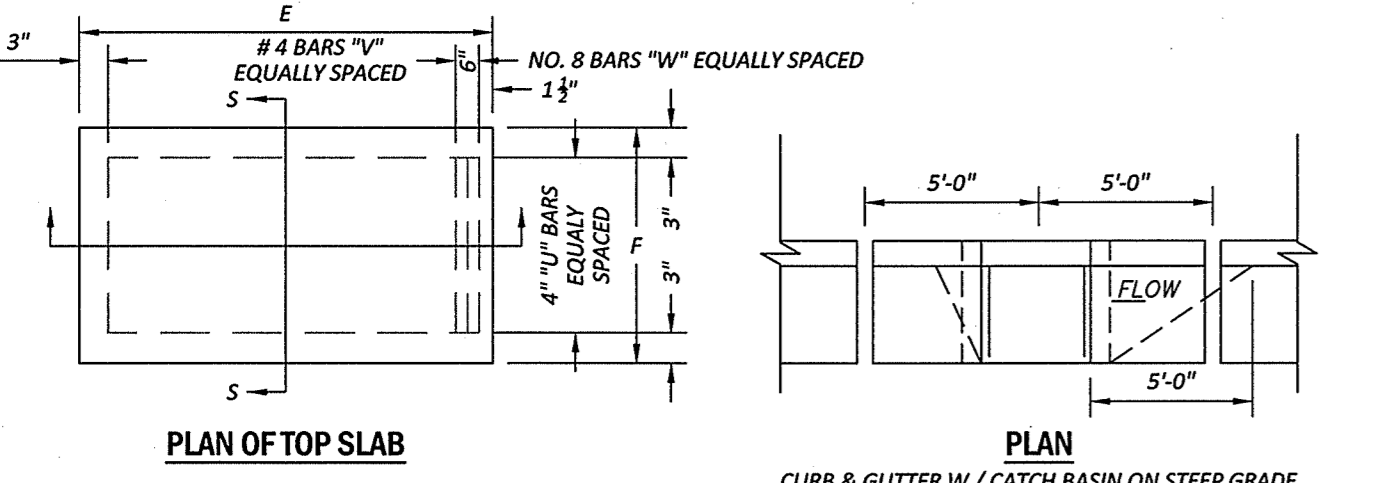


NOTES:  
MORTAR JOINTS 1/2" ± 1/8" THICK. CLASS "AA" CONCRETE TO BE USED. THE POURING OF FLOOR SLAB TO BE ACCOMPLISHED BY FORMING. ALL CATCH BASINS OVER 3'-6" IN DEPTH SHALL BE PROVIDED WITH STEPS 1'-2" ON CENTERS. STEPS SHALL BE IN ACCORDANCE WITH STD. No. 25.12. CONCRETE BRICK MAY BE USED IN LIEU OF CLAY BRICK. JUMBO BRICK WILL BE PERMITTED. FOR 8'-0" IN HEIGHT OR LESS USE 8" WALL. OVER 8'-0" IN HEIGHT USE 12" WALL TO 6'-0" FROM TOP OF WALL & 8" WALL FOR THE REMAINING 6'-0". LEAVE WEEP HOLES AS DIRECTED BY THE ENGINEER.

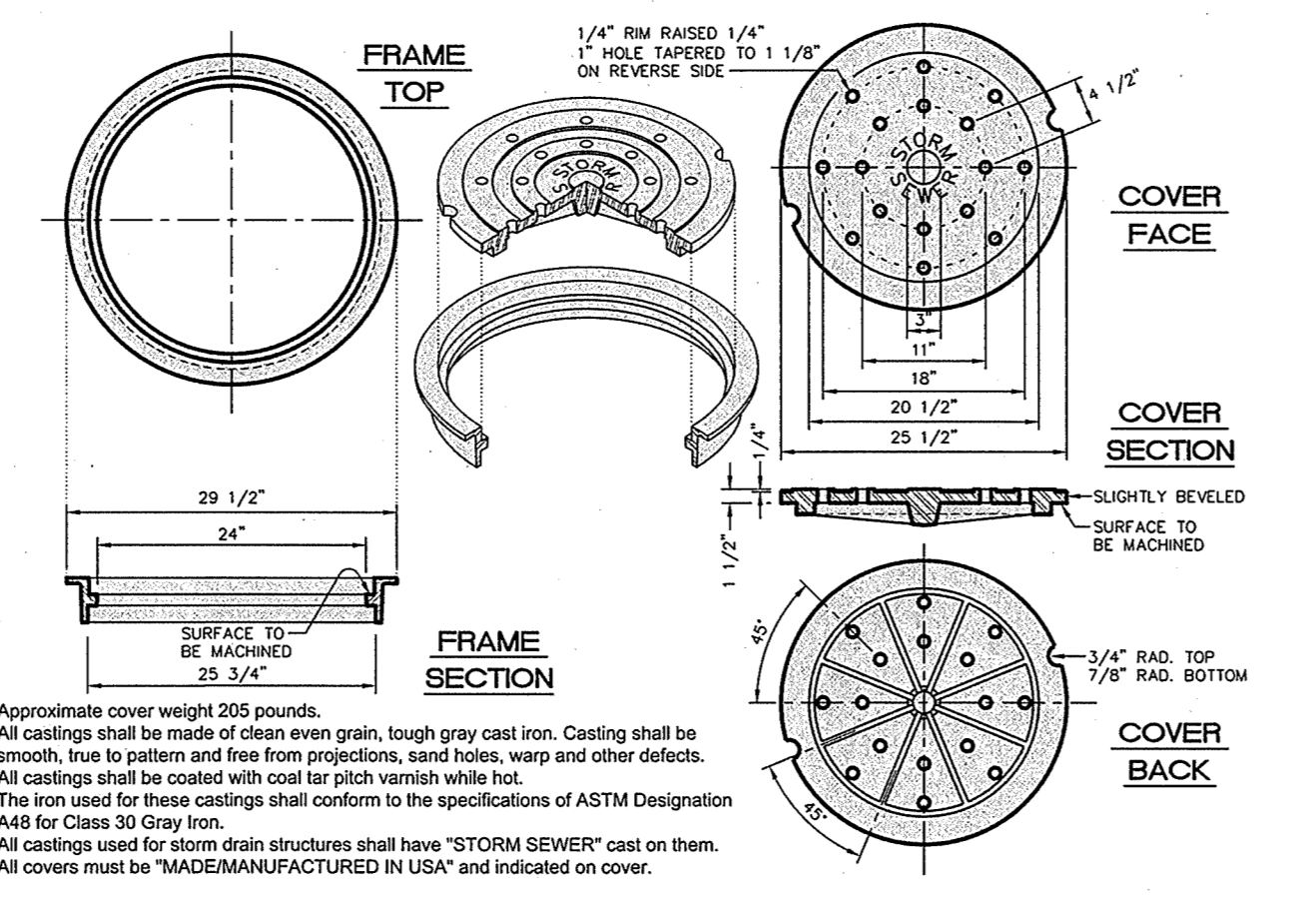


**STANDARD BRICK CATCH BASIN**  
15" THROUGH 54" PIPE  
N.T.S.  
6515-2A

PIPE	DIMENSIONS OF BOX & PIPE				COVER	REINFORCEMENT			CUBIC YARDS OF CONCRETE IN BOX	BRICK MASONRY			
	SPAN	WIDTH	HEIGHT	HEIGHT		BASE COURSE	REINFORCING	PER FT. OF HEIGHT					
15"	3'-0"	2'-2"	2'-0"	2'-0"	12	3-1"	3-4"	3-4"	0.412	0.657	0.263	0.031	0.047
18"	3'-0"	2'-4"	2'-0"	2'-0"	14	3-5"	3-5"	3-5"	0.458	0.814	0.296	0.044	0.055
24"	3'-0"	3'-0"	3'-0"	3'-0"	16	4-1"	4-4"	4-4"	0.695	1.176	0.382	0.079	0.133
30"	3'-4"	3'-4"	3'-0"	3'-0"	18	4-5"	4-8"	4-8"	0.807	1.481	0.395	0.122	0.170
36"	4'-0"	4'-0"	4'-0"	4'-0"	20	5-1"	5-4"	5-4"	1.033	1.959	0.461	0.176	0.228
42"	4'-6"	4'-6"	4'-6"	4'-6"	22	5'-0"	6'-0"	6'-0"	1.333	2.503	0.527	0.240	0.333
48"	5'-0"	5'-0"	5'-0"	5'-0"	24	6-1"	6-4"	6-4"	1.486	2.840	0.580	0.313	0.422
54"	5'-6"	5'-6"	5'-6"	5'-6"	26	6-7"	6'-10"	6'-10"	1.729	3.502	0.609	0.396	0.535
60"	6'-0"	6'-0"	6'-0"	6'-0"	28	7-1"	7-4"	7-4"	1.952	4.118	0.658	0.449	0.603
66"	6'-6"	6'-6"	6'-6"	6'-6"	30	7-7"	7'-10"	7'-10"	2.273	4.778	0.708	0.501	0.708



**STANDARD BRICK CATCH BASIN**  
15" THROUGH 54" PIPE  
N.T.S.  
6515-10A



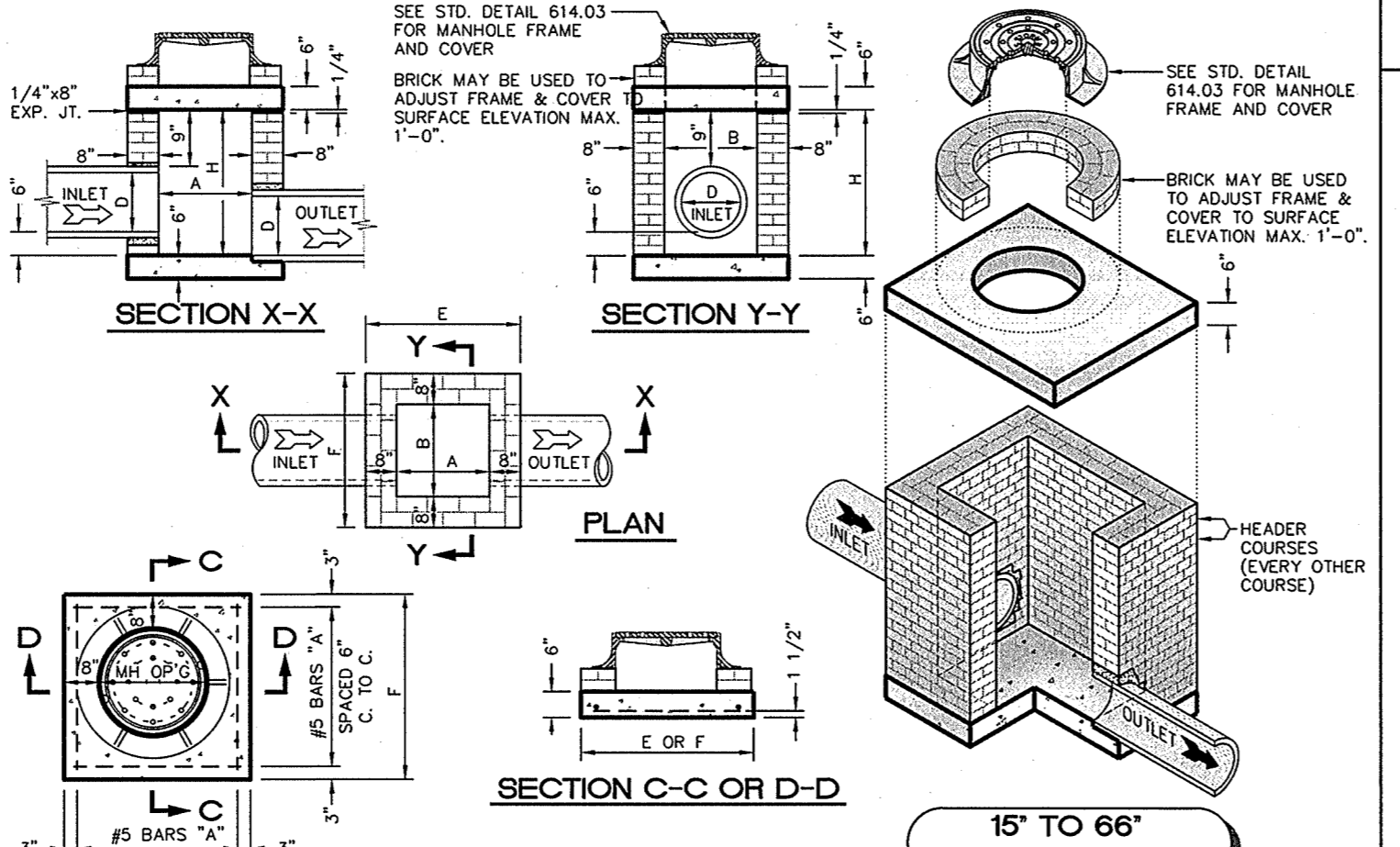
1. Approximate cover weight 205 pounds.
2. All castings shall be made of clean even grain, tough gray cast iron. Casting shall be smooth, true to pattern and free from projections, sand holes, warp and other defects.
3. All castings shall be coated with coal pitch or similar white lacquer.
4. The iron used for these castings shall conform to the specifications of ASTM Designation A48 for Class 30 Gray Iron.
5. All castings used for storm drain structures shall have "STORM SEWER" cast on them.
6. All covers must be "MADE/MANUFACTURED IN USA" and indicated on cover.

**STANDARD MANHOLE**  
FRAME & COVER  
N.T.S.  
C09-614.04

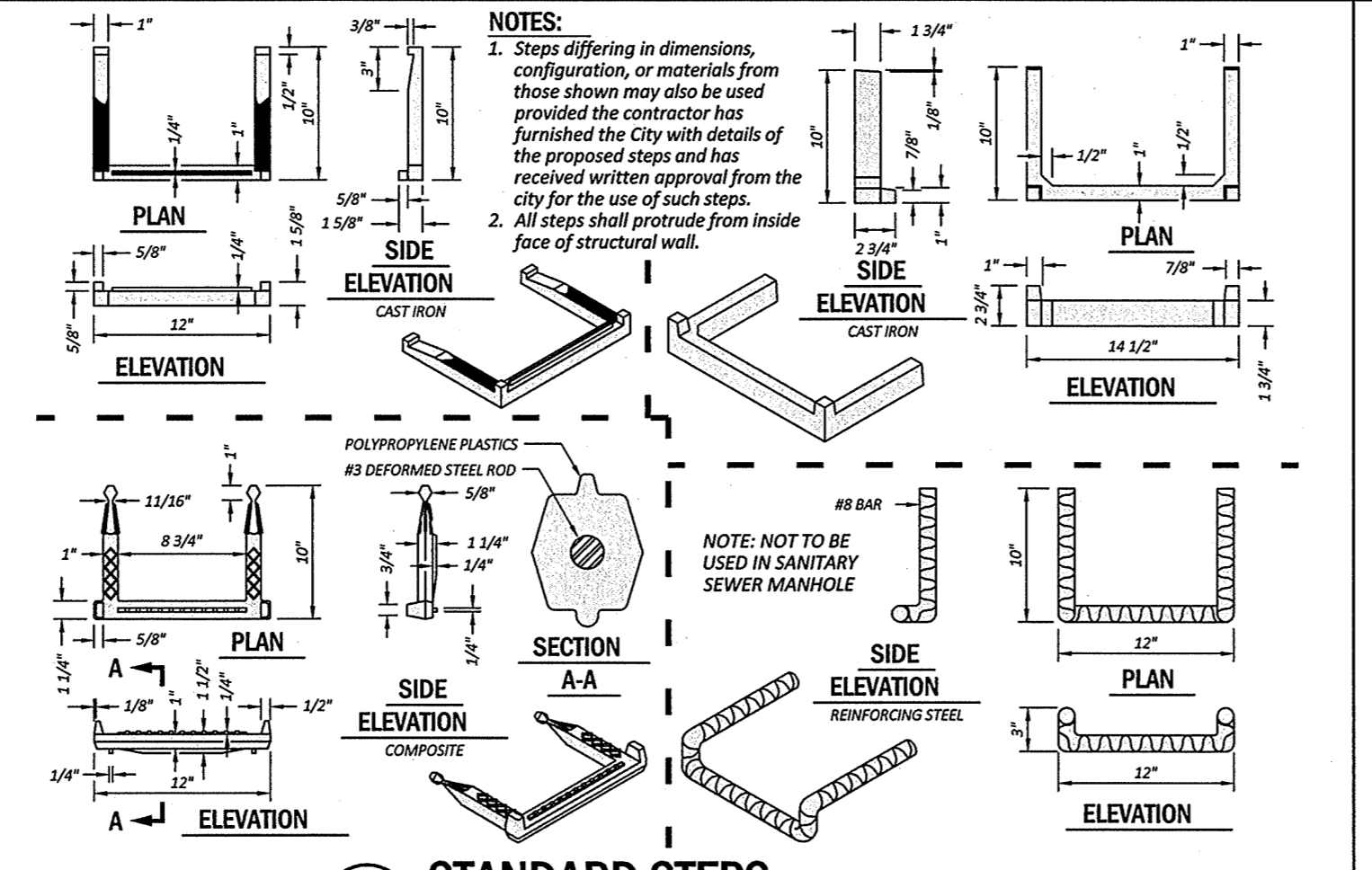
**DIMENSIONS AND QUANTITIES FOR BRICK JUNCTION BOXES**

PIPE	DIMENSIONS OF BOX & PIPE				COVER	REINFORCEMENT			CUBIC YARDS OF CONCRETE IN BOX	BRICK MASONRY	DEDUCTIONS FOR ONE PIPE CU. YDS.		
	SPAN	WIDTH	HEIGHT	HEIGHT		BASE COURSE	REINFORCING	PER FT. OF HEIGHT					
15"	2'-0"	2'-0"	2'-0"	2'-0"	12	3-1"	3-4"	3-4"	0.412	0.657	0.263	0.031	0.047
18"	2'-4"	2'-4"	2'-0"	2'-0"	14	3-5"	3-5"	3-5"	0.458	0.814	0.296	0.044	0.055
24"	3'-0"	3'-0"	3'-0"	3'-0"	16	4-1"	4-4"	4-4"	0.695	1.176	0.382	0.079	0.133
30"	3'-4"	3'-4"	3'-0"	3'-0"	18	4-5"	4-8"	4-8"	0.807	1.481	0.395	0.122	0.170
36"	4'-0"	4'-0"	4'-0"	4'-0"	20	5-1"	5-4"	5-4"	1.033	1.959	0.461	0.176	0.228
42"	4'-6"	4'-6"	4'-6"	4'-6"	22	5'-0"	6'-0"	6'-0"	1.333	2.503	0.527	0.240	0.333
48"	5'-0"	5'-0"	5'-0"	5'-0"	24	6-1"	6-4"	6-4"	1.486	2.840	0.580	0.313	0.422
54"	5'-6"	5'-6"	5'-6"	5'-6"	26	6-7"	6'-10"	6'-10"	1.729	3.502	0.609	0.396	0.535
60"	6'-0"	6'-0"	6'-0"	6'-0"	28	7-1"	7-4"	7-4"	1.952	4.118	0.658	0.449	0.603
66"	6'-6"	6'-6"	6'-6"	6'-6"	30	7-7"	7'-10"	7'-10"	2.273	4.778	0.708	0.501	0.708

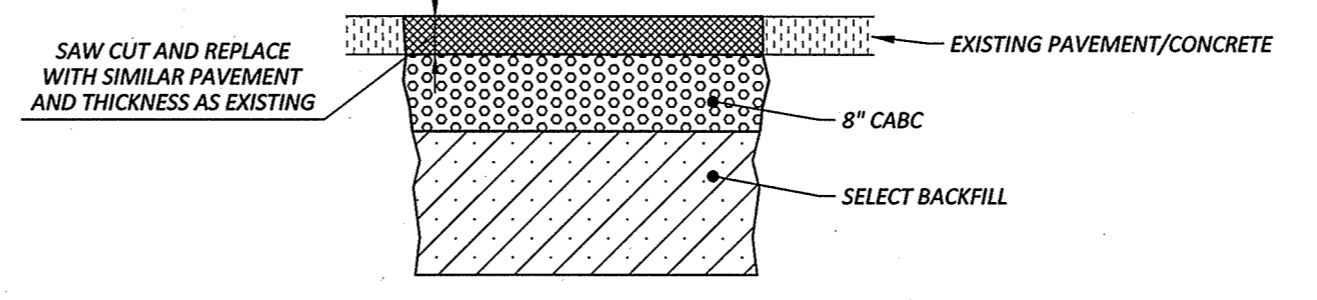
- NOTES:
1. Use #5 bar dowels at 12" centers.
  2. If reinforced concrete pipe is set in base slab of box, add to base as shown on std. detail 610.03.
  3. Adjust the steel, concrete and brick masonry quantities to include the addition of the manhole (i.e. diagonal bars shortened around opening in top slab, additional variable height brick masonry, opening in top slab).
  4. Maximum depth of this structure from top to bottom slab to top elevation is 12'-0".
  5. See Std. detail No. 610.01 for standard notes.



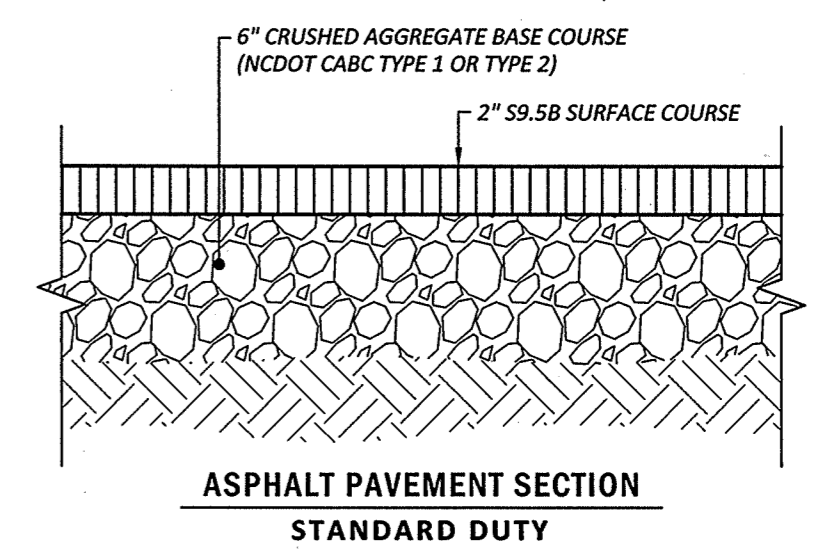
**BRICK JUNCTION BOX**  
WITH MANHOLE  
N.T.S.  
C09-613.01



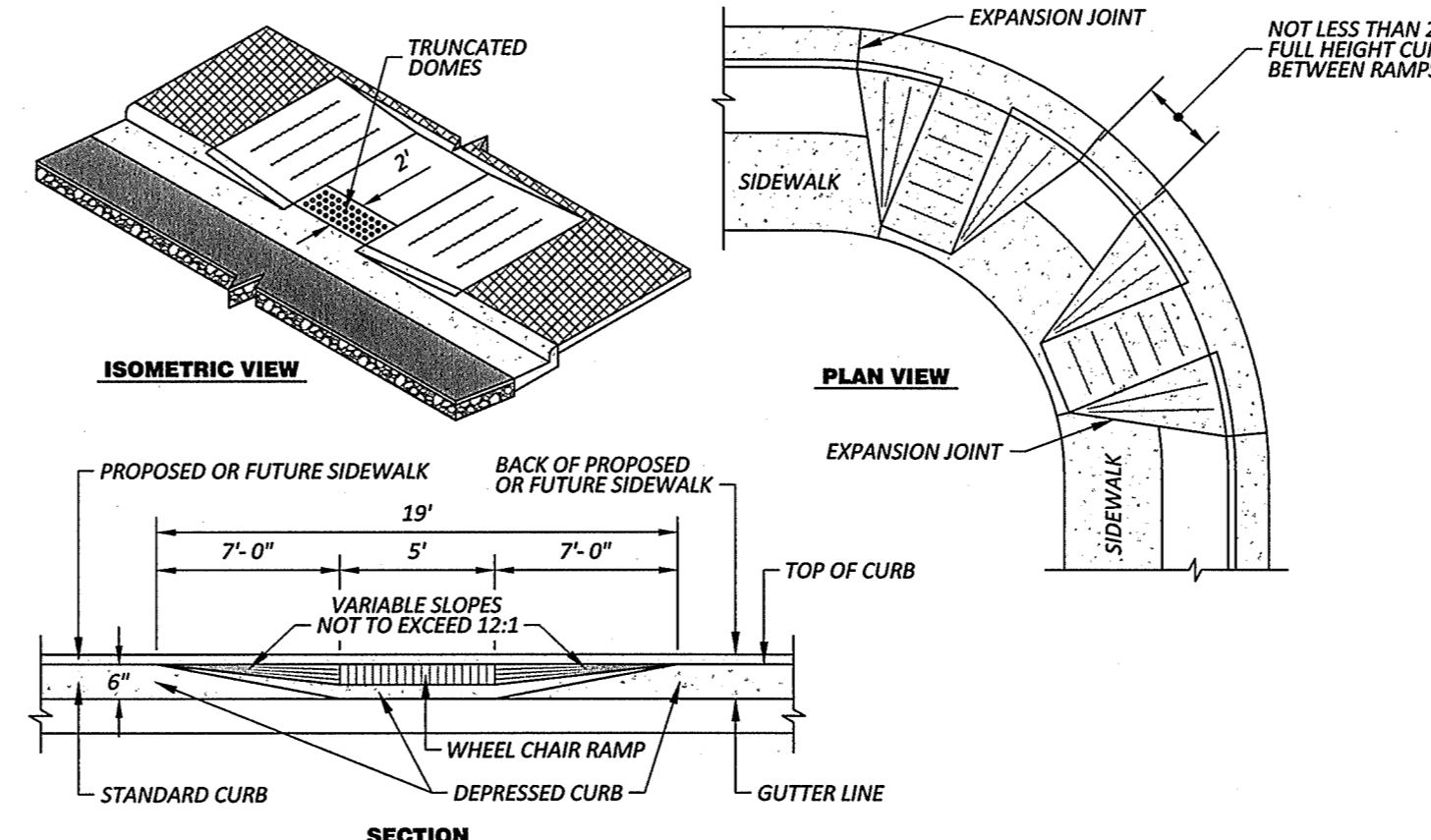
**STANDARD STEPS**  
N.T.S.  
C09-615.01



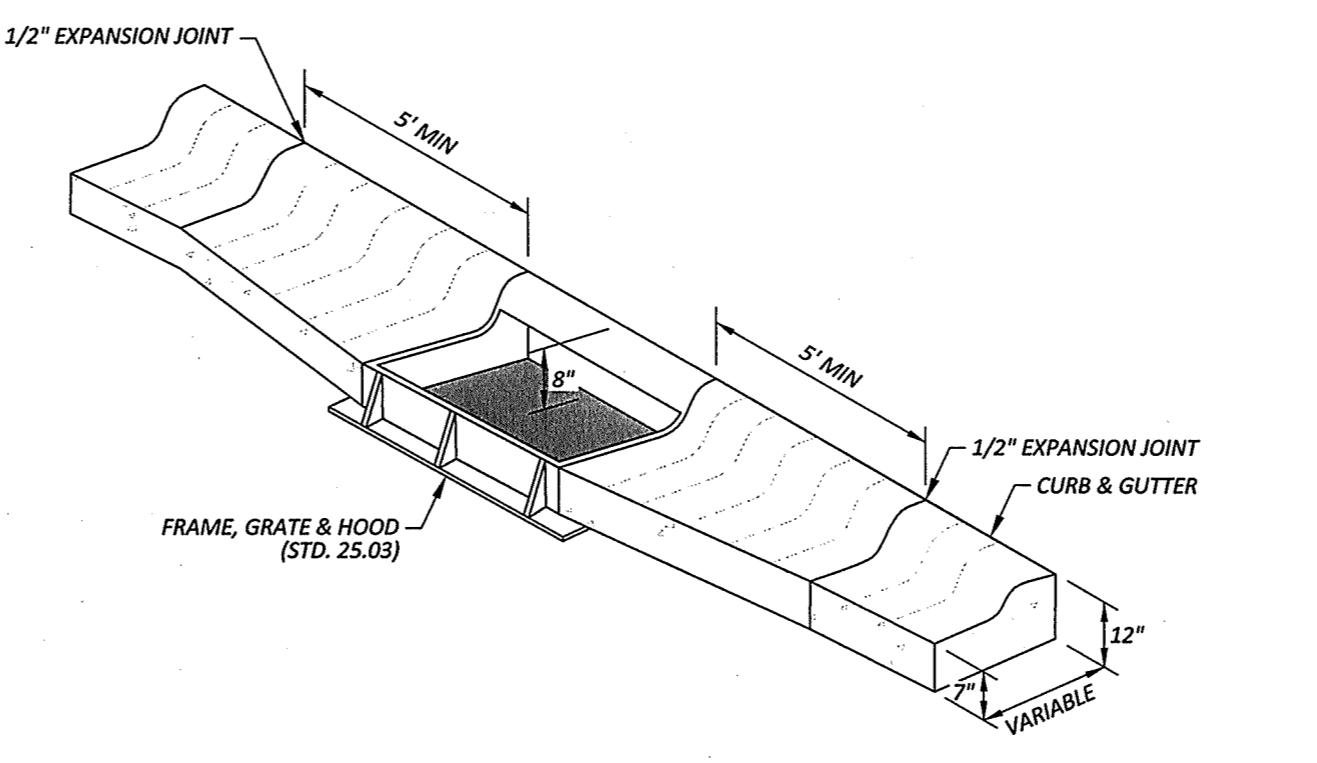
**ASPHALT ROAD CUT & RESURFACE**  
N.T.S.



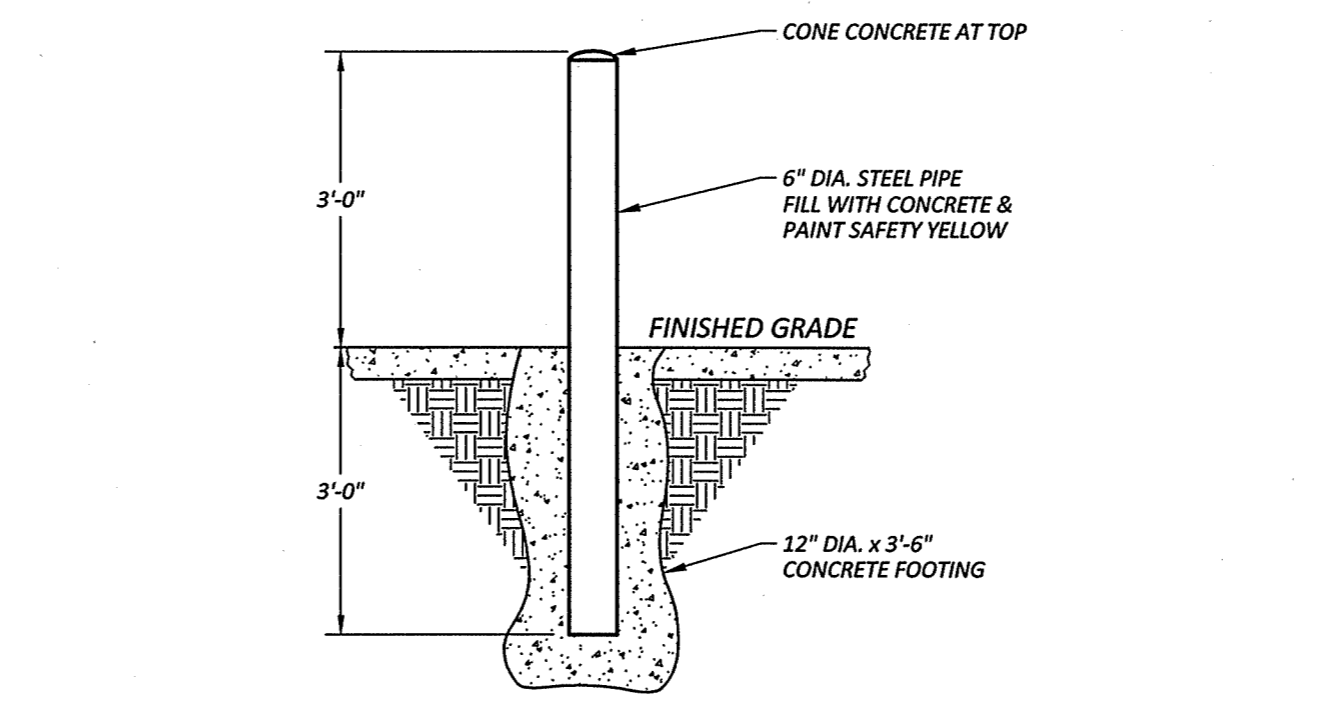
**PAVEMENT SECTION**  
N.T.S.



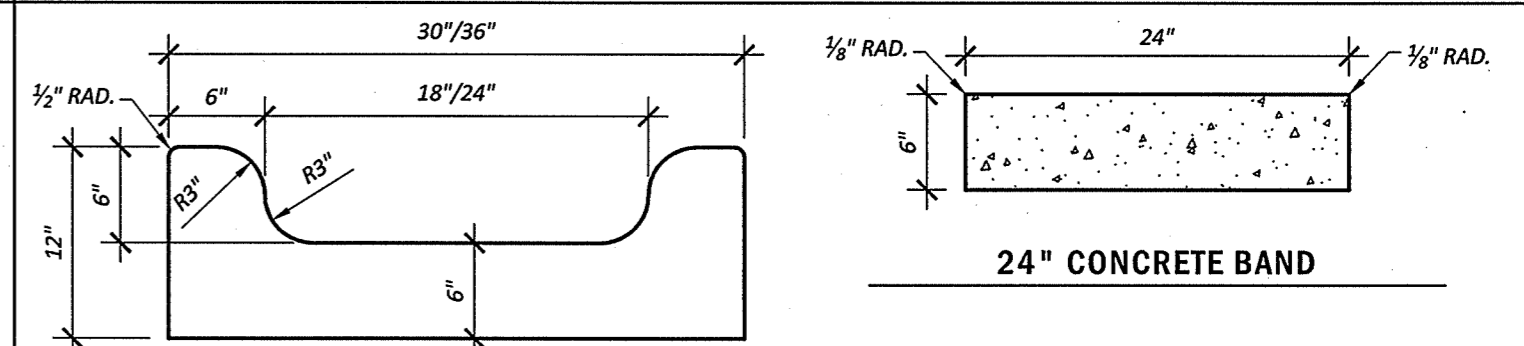
**STANDARD WHEEL CHAIR RAMP**  
N.T.S.  
515-2A



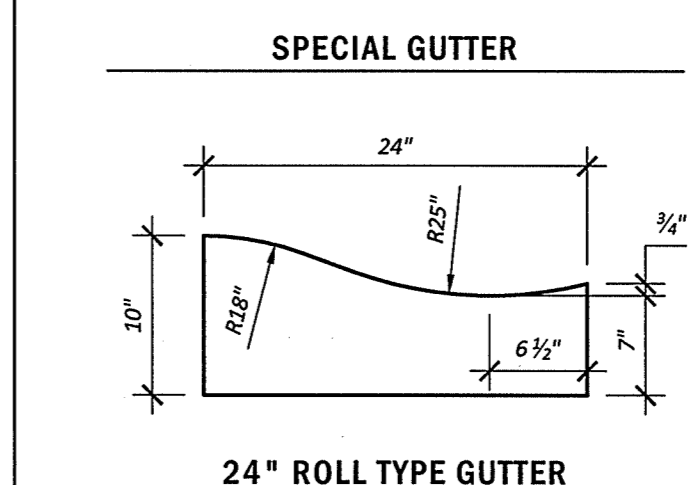
**STANDARD CATCH BASIN FRAME**  
IN CURB & GUTTER  
N.T.S.  
515-6A



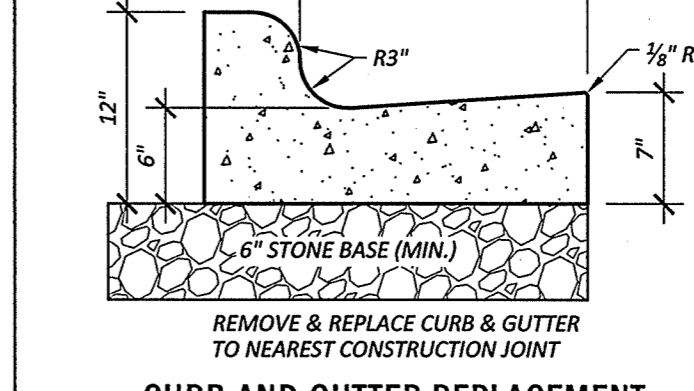
**CONCRETE BOLLARD**  
N.T.S.  
BLD-130



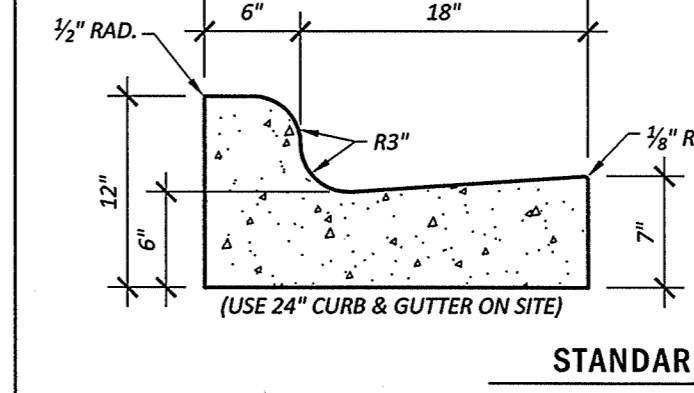
**24" CONCRETE BAND**



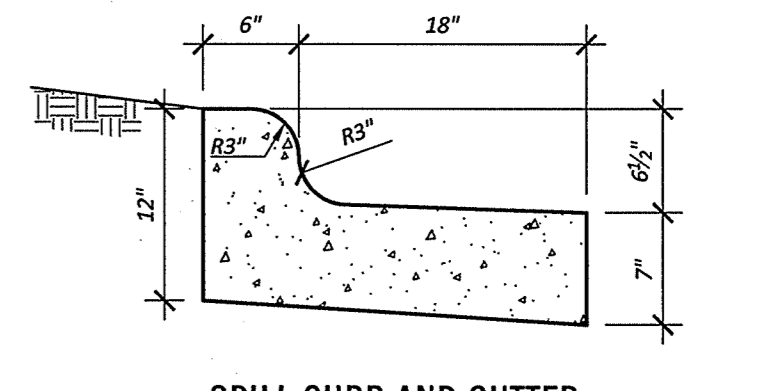
**SPECIAL GUTTER**



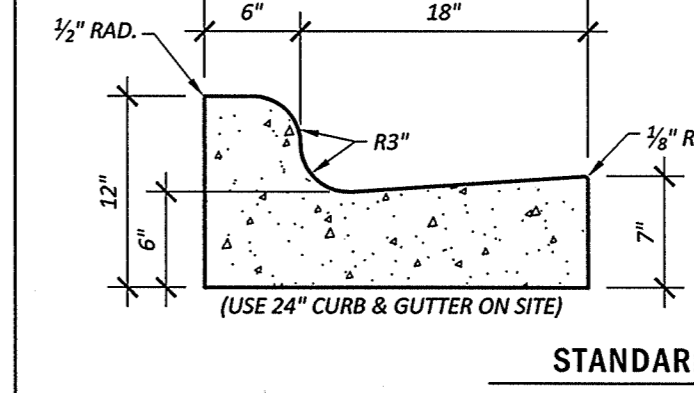
**24" ROLL TYPE GUTTER**



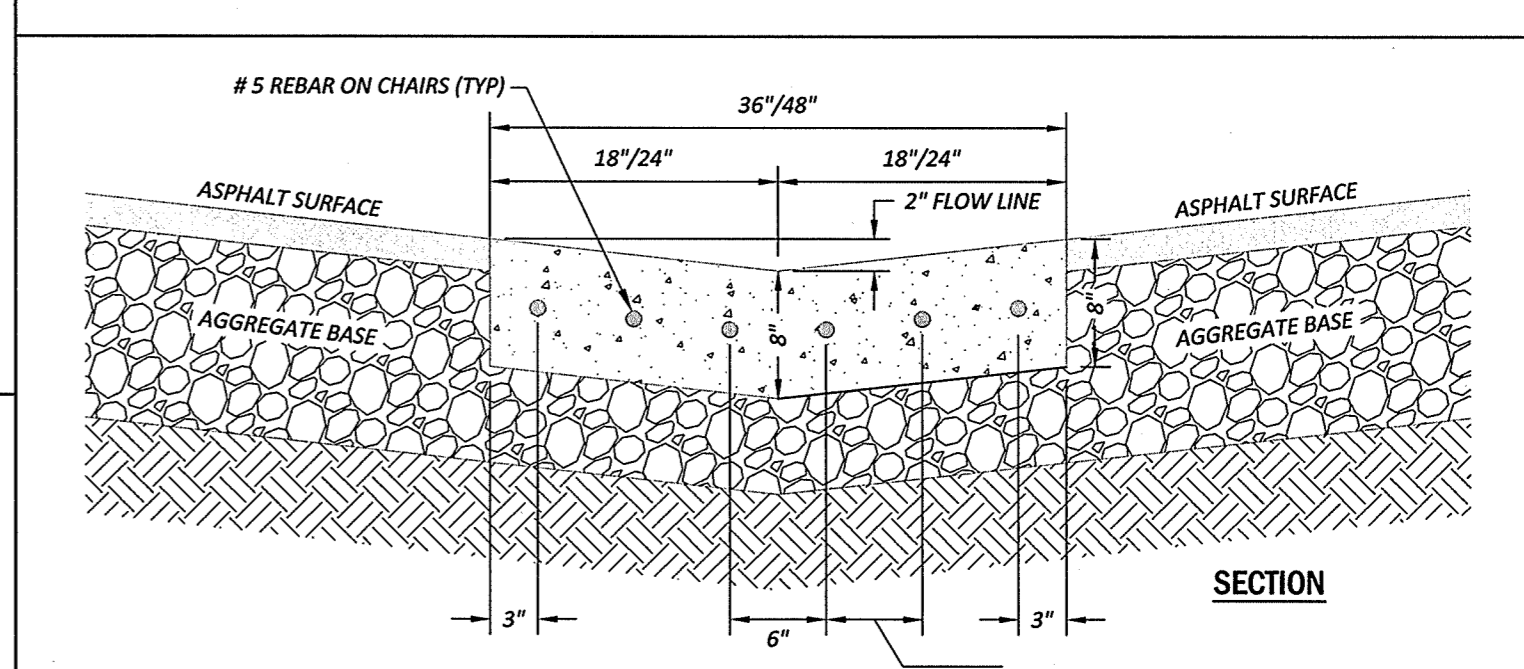
**CURB AND GUTTER REPLACEMENT**  
(FOR USE WITHIN PUBLIC R/W)



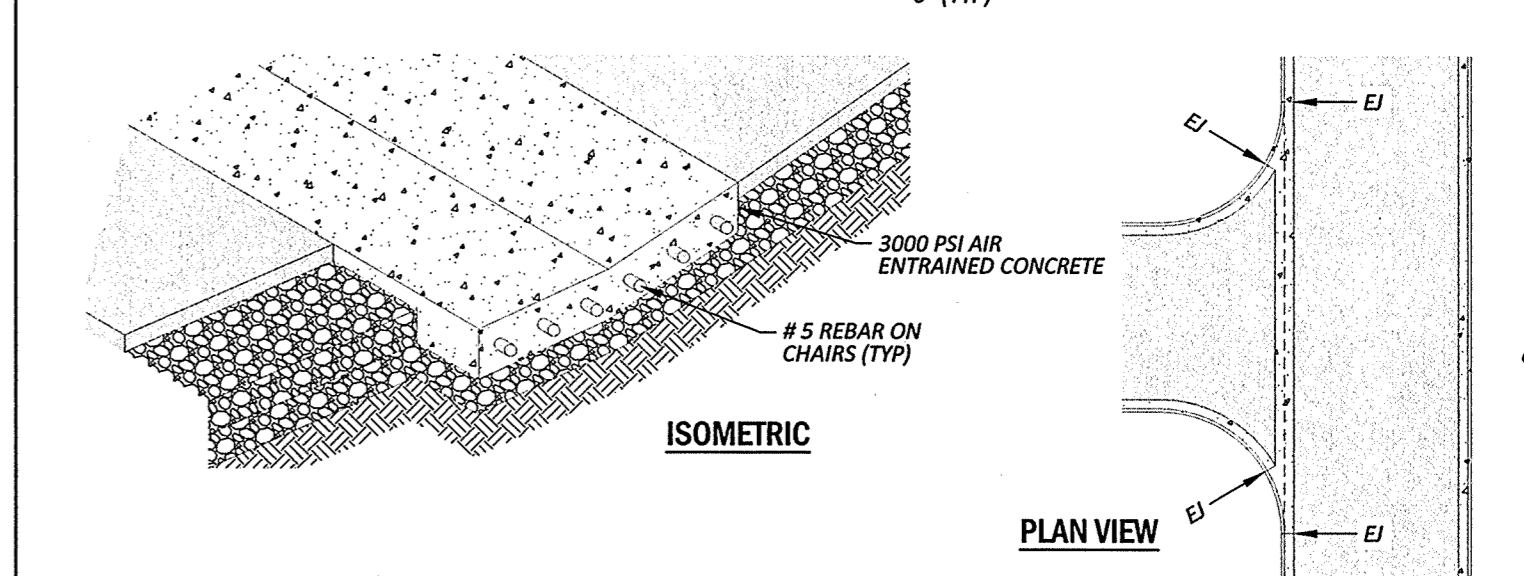
**SPILL CURB AND GUTTER**



**STANDARD CURB AND GUTTER**



**CURB AND GUTTER DETAILS**  
N.T.S.

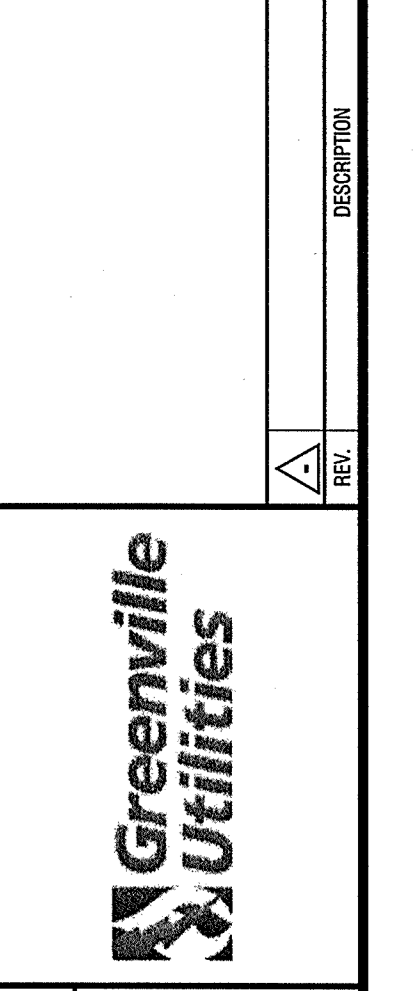


**CONCRETE VALLEY GUTTER**  
N.T.S.  
515-55

**GENERAL NOTES:**  
CONTRACTION JOINTS SHALL BE SPACED AT 10' INTERVALS, EXCEPT THAT A 15' SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10' INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.  
CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED.  
ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.  
EXPANSION JOINTS SHALL BE SPACED AT 90' INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS.  
ALL CURB AND GUTTERS ARE TO BE POURED WITH CLASS "A" CONCRETE. (3000 PSI).  
FLEXIBLE FORMS ARE TO BE USED WHEN RADI IS LESS THAN 200'.

REVISIONS:

NO.	DATE	DESCRIPTION



**CONSTRUCTION DETAILS**  
**GREENVILLE UTILITIES COMMISSION**  
**5th & PITT ST. PARKING**  
GREENVILLE TOWNSHIP - PITT COUNTY - NORTH CAROLINA

**Rivers & Associates, Inc.**  
107 East Sycamore Street  
Greenville, NC 27608  
(252) 782-4135  
Professional Engineer  
Surveyor  
Landscape Architect

Professional Engineer Seal  
June 10, 2016  
PROJECT No. 2016034  
DRAWING No. W-3679  
SCALE: AS NOTED  
SHEET No. OF X  
**C7**