



ADDENDUM NO. 1

Client / Facility: Greenville Utilities Commission	TEG Project No.: 20180057
Project Name: Administration Building Renovations	Client Project No.: n/a
Addendum Date: November 29, 2018	For Bids Due On: 12-12-18

Corporate Office
 324 Evans St
 Greenville
 NC 27858
 Tel 252.758.3746
 Fax 252.830.3954

Raleigh Office
 4325 Lake Boone Trail
 Suite 311
 Raleigh
 NC 27607
 Tel 919.784.9330
 Fax 919.784.9331

www.eastgroup.com

This Addendum has become a part of the drawings and specifications for the above project.

Each Contractor shall be responsible for notifying their subcontractors and material suppliers of the contents of this Addendum.

Revised or newly issued drawings contained in this Addendum shall supersede and shall take precedence over any conflicting information in the original drawings. Revised or newly issued specifications contained in this Addendum shall supersede and shall take precedence over any conflicting information in the original specifications.

Drawing Sheets – attached:

- G1.1 DRAWING INDEX AND CONSTRUCTION NOTES
- A2.1 FIRST FLOOR PLAN
- A2.2 SECOND FLOOR PLAN
- A2.3 THIRD FLOOR PLAN
- A3.1 ROOF PLAN
- M1.1 FIRST FLOOR - DEMOLITION PLAN
- MD2.1 FIRST FLOOR PLAN - DUCTWORK
- MP2.1 FIRST FLOOR PLAN – PIPING
- M2.2 SECOND FLOOR PLAN - DUCTWORK & PIPING
- M2.3 THIRD FLOOR PLAN - DUCTWORK & PIPING
- M3.1 ROOF PLAN
- ES2.1 FIRST FLOOR PLAN - SPECIAL SYSTEMS
- E2.2 SECOND AND THIRD FLOOR PLANS - RENOVATION (ADDED)
- E3.1 ROOF PLAN - POWER

Minutes of the Pre-Bid Meeting are hereby included in this addenda as follows:

PRE BID MEETING MINUTES

Client / Facility: Greenville Utilities Commission	TEG Project No.: 20180057
Project Name: Administration Building Renovations	Client Project No.:
Meeting Location: GUC Administration Building	Meeting Date: 11-27-18

ENGINEERING
 -
 ARCHITECTURE
 -
 SURVEYING
 -
 TECHNOLOGY
 -



Purpose of Meeting: Pre-Bid Meeting		
ATTENDEES		
Name	Company	E-mail Address
David Laney	CA Lewis Inc.	DavidL@CALewis.com
Logan Hessert	Hudson Brothers	LHessert@Hudsonbros.com
Mark Nash	GUC	nashjm@guc.com
Vincent Malvarosa	GUC	malvarvm@guc.com
Doug Chesson	A. R. Chesson	doug@archesson.com
Cleve Haddock	GUC	haddocgc@guc.com
Richard Johnson	GUC	richard.johnson@eastgroup.com

Corporate Office
 324 Evans St
 Greenville
 NC 27858
Tel 252.758.3746
Fax 252.830.3954

Raleigh Office
 4325 Lake Boone Trail
 Suite 311
 Raleigh
 NC 27607
Tel 919.784.9330
Fax 919.784.9331

www.eastgroup.com

Following are the minutes of the pre-bid meeting:

1. Sign-In

- a. A sign-in sheet was circulated - see attached

2. Introductions

- a. Cleve Haddock – Greenville Utilities Commission Procurement Coordinator welcomed the attendees and thanked them for their attendance. The attendees introduced themselves.
- b. Richard Johnson reviewed the following:

3. Project Scope

- a. Without force and effect upon the work defined and required by the project manual and drawings, the project involves the following:
 - i. Provide exterior site modifications to parking , drainage, plantings, and entrances
 - ii. Provide exterior renovations to building facades and roof area
 - iii. Provide interior renovations primarily to first floor including a new HVAC system for the first floor

4. Receipt of Bids.

- a. Sealed bids will be received till 2:00 pm 12-12-18 in the office of Procurement Coordinator and publicly opened and read if three responsive bids are received.
 - i. If less than 3 responsive bids are received, the project will be re-advertised for at least 7 days and Owner will open bids received at the stipulated time and place.
- b. Refer to the advertisement for bids for detailed bid requirements.
- c. The Owner encourages the participation of Minority and/or Women Business Enterprise (M/WBE) firms. Refer to the project manual for specific requirements.
 - i. Please note the documentation requirements that are necessary for the bidders to include with their bids.
- d. A Bid form is included in the Project Manual
- e. Site visits are mandatory for all bidders. The following times are available for site visits:

ENGINEERING
 -
ARCHITECTURE
 -
SURVEYING
 -
TECHNOLOGY
 -



- i. 11-27-18 - immediately after the pre-bid meeting
- ii. 11-29 at 10:00 am by appointment
- iii. 12-4 and 12-6 at 10:00 am by appointment
- iv. To schedule a site visit contact Greg Roberson at (252) 329-2156

Corporate Office
 324 Evans St
 Greenville
 NC 27858
Tel 252.758.3746
Fax 252.830.3954

f. Alternates

- i. Alternate No.1 - Provide roof screen including all associated structural steel, attachments, cold formed metal trusses, metal roofing panels, and roof repair at penetrations of structural steel.
- ii. Alternate No. 2 - Extend existing curved entry canopy including all associated supporting steel, column wraps, and new metal roofing and trim on both new and existing curved canopies.
- iii. Alternate No.3 - Provide site lighting including all S-1 and S-2 fixtures, and all associated conductors and conduit.
- iv. Alternate No.4 - Provide Cornice including all associated structural steel, attachments, light gauge steel framing, roofing, trim, composite metal panels, and roofing/parapet wall repair at penetrations of structural steel.
- v. Alternate No.5 – Provide Sun Shades including all associated structural steel, attachments, and wall repair.
- vi. Alternate No.6 – Provide first floor architectural canopies including all associated structural steel, attachments, infill composite metal panels, and wall repair at penetrations of structural steel.

Raleigh Office
 4325 Lake Boone Trail
 Suite 311
 Raleigh
 NC 27607
Tel 919.784.9330
Fax 919.784.9331

www.eastgroup.com

5. Interim Life Safety Measures

- a. The Building will be in continuous use by the Owner and the Public for the full project duration.
- b. The Project will be constructed in 2 main Phases – refer to drawings for delineation of phases.
 - i. After the Contractor completes the work of phase 1, the Owner will take no longer than 2 weeks to occupy phase 1 and begin serving customers from that portion of the first floor while the work of phase 2 is completed.
 - ii. Subject to the requirement that service to customers and staff use not be interrupted for longer than the 2 week transition period from phase 1 to phase 2, the Contractor will have control of the portions of the site work that are accomplished during phase 1 and phase 2.
- c. The Contractor will be responsible for providing safe ingress and egress at all times and will provide appropriate barriers to prevent the public from accessing the construction areas.
- d. The Owner is willing for the contractor to re-route all staff and public access to the existing entrance on the Washington Street side of building while major work to the site and building on the parking lot side of the building occurs, and to re-route traffic from the Washington Street side of the building to the parking lot side of the building while work on the Washington Street side of the project occurs.

ENGINEERING
 -
ARCHITECTURE
 -
SURVEYING
 -
TECHNOLOGY
 -



Corporate Office
 324 Evans St
 Greenville
 NC 27858
Tel 252.758.3746
Fax 252.830.3954

Raleigh Office
 4325 Lake Boone Trail
 Suite 311
 Raleigh
 NC 27607
Tel 919.784.9330
Fax 919.784.9331

www.eastgroup.com

6. Project Duration and Liquidated Damages.

- a. The project Duration is 300 consecutive calendar days; including a 2 week allowance for the Owner’s move between phase 1 and 2. Liquidated Damages are \$300 per day for each calendar day that substantial completion exceeds the 300 calendar day duration.

7. Construction Requirements.

- a. The Contractor will be able to use the existing building, toilets, HVAC, and power. An exterior field office is not required - see section 01500 - Temporary Facilities of the specifications.
- b. The Contractor cannot close any of the surrounding streets without prior written approval from the City of Greenville.
- c. The contractor shall be provided 4 parking spaces for the project duration and an additional 4 parking spaces for periods of peak activity. These spaces will be provided within a 1 block radius of the project site.
- d. Hours during which work shall be accomplished are 7:00 am to 5:00 pm, 7 days a week.
- e. Work at other times will require Owner approval in writing.
- f. All existing concrete or asphalt pavement shall be repaired as necessary to return to current condition at the end of the project.
- g. No smoking, alcohol, or firearms will be allowed for construction related personnel on the project site.

8. Staging Area.

- a. Contractor staging area shall be within first two lanes of drive up area - The existing ATM will remain in continuous use and access/bypass will remain uninterrupted – see project limits indicated on L0.2

9. Questions and answers

- a. *Will the Owner keep and make available a list of those bidders and subcontractors who make site visits?*
 - i. Yes – Owner will post this list on their web site.
- b. *What is the expected start date for construction?*
 - i. The anticipated start date for construction is late in the first quarter of 2019.

10. Tour of Project Site.

- a. A tour of the project area was conducted for pre-bid meeting attendees.

END OF ADDENDUM NO. 01

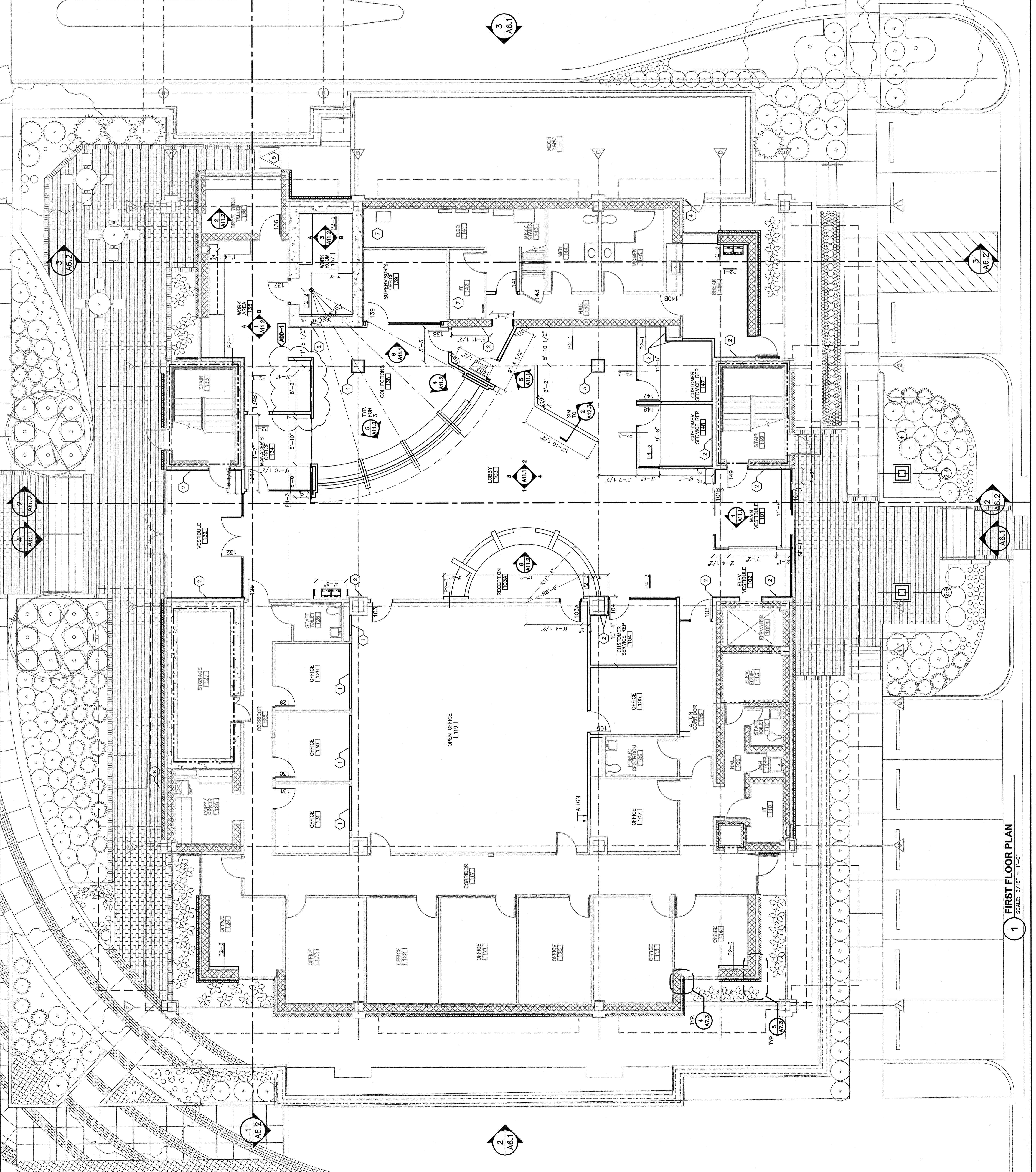
ENGINEERING
 -
ARCHITECTURE
 -
SURVEYING
 -
TECHNOLOGY
 -

REV	DATE	DESCRIPTION
1	11/28/18	ISSUED FOR BID
0	11/9/18	ADDITIONAL NO. 1

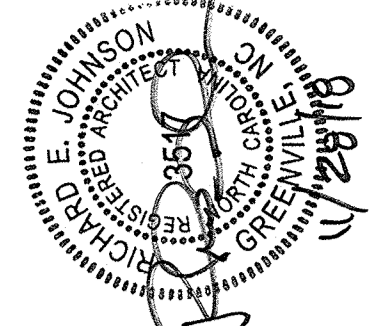
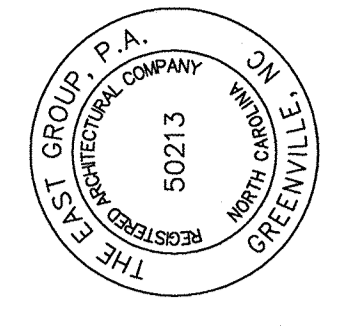
- General Notes**
- REFER TO SHEET G1.1 FOR ADDITIONAL GENERAL NOTES.
 - SEE SHEET G2.1 FOR LOCATION OF ALL FIRE-RATED WALLS AND EGRESS CRITERIA.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS IF CONDITIONS ARE FOUND WHICH DIFFER FROM THOSE SHOWN ON THE DRAWINGS. IMMEDIATELY NOTIFY THE ARCHITECT.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT EQUIPMENT, CABINETS, FIXTURES, ETC.
 - WHERE NEW WALLS MEET EXISTING WALLS, PATCH AND REPAIR WALLS TO MATCH.
 - ALL FLOORS SHALL BE PATCHED AND REPAIRED AS REQUIRED TO ACHIEVE A SMOOTH SURFACE.
 - REFER TO A11 SERIES DRAWINGS FOR ADDITIONAL ELEVATIONS, NOTES AND DIMENSIONS.
 - SEE IN SERIES DRAWINGS FOR SCHEDULED PROTECTION DETAILS AND LOCATIONS.
 - ALL NEW INTERIOR PARTITIONS MUST OTHERWISE NOTED SHALL BE PARTITION TYPE PL-3 WITH SOUND ATTENUATION INSULATION (SBI).

- Keyed Notes**
- INFILL OPENING TO MATCH EXISTING ADJACENT CONSTRUCTION
 - FURR OUT OVER CONC. SUBSTRATE WITH 7/8" HAT CHANNEL AND 5/8" CYP BD. TYPICAL OVER EXISTING PRECAST WALL PANELS AND WHERE INDICATED.
 - REFABRICATED COLUMN WRAP. SEE INB.1 CLADDING
 - REWORK GATE AS REQUIRED BY NEW CMU CLADDING
 - PROVIDE NEW PAINTED STEEL ACCESS DOOR
 - EXISTING NIGHT DEPOSIT BOX TO REMAIN. PROVIDE OPENING IN CMU CLADDING. REINSTALL EXISTING SIGNAGE.
 - PROTECT EXISTING DATA WIRING WHICH SHALL REMAIN IN CONTINUOUS USE FOR ENTIRE DURATION OF PROJECT.

- Alternates**
- PROVIDE ROOF SCREEN WALL
 - EXTEND ENTRANCE CANOPY
 - PROVIDE SITE LIGHTING
 - PROVIDE CORNICE
 - PROVIDE SUN SHADES
 - PROVIDE FIRST FLOOR CANOPIES



1 FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"



REV	DATE	DESCRIPTION
0	11/8/18	ISSUED FOR BID
1	11/28/18	ADDENDUM NO. 1

PROJECT NO.	20180057
CLIENT PROJECT NO.	
PROJECT TITLE	GUC ADMINISTRATION BUILDING RENOVATIONS
DRAWING TITLE	SECOND FLOOR PLAN
DRAWING NO.	A2.2

General Notes

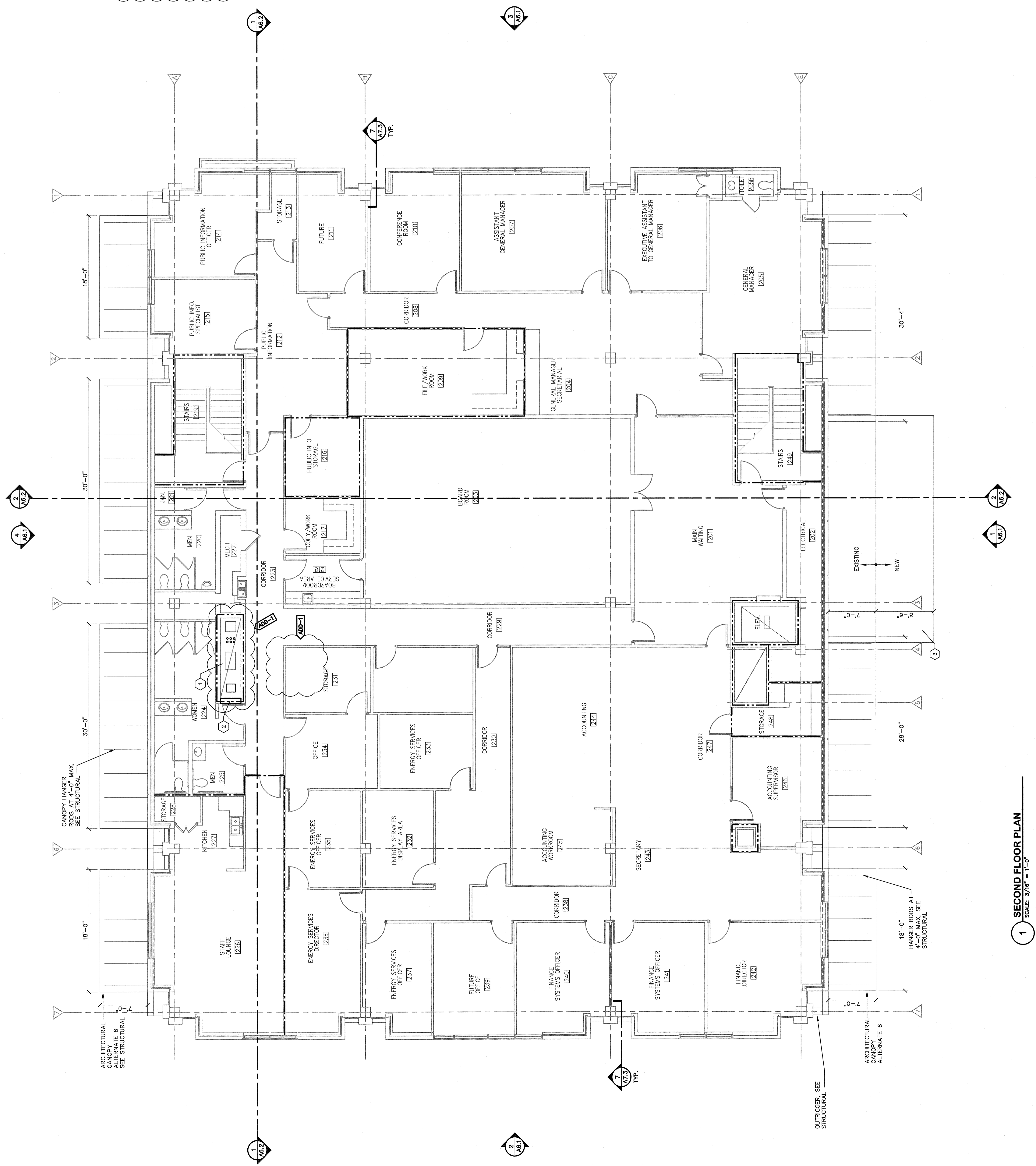
- REFER TO SHEET G1.1 FOR ADDITIONAL GENERAL NOTES.
- SEE SHEET G2.1 FOR LOCATION OF ALL FIRE-RATED WALLS, SMOKE PARTITIONS AND EGRESS CRITERIA.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IF CONTRACTOR'S FIELD MEASUREMENTS DIFFER FROM THOSE SHOWN ON THE DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

Keyed Notes

- EXISTING SHAFT DUCT TO REMAIN.
 - FILL IN LARGE RECTANGULAR OPENING
 - 3 DAMPERS TO BE REMOVED
 - 1 18" X 18" DUCT PENETRATION AND
 - 1 6" X 4" PIPE PENETRATIONS
 SEE MECHANICAL DRAWINGS.
- PROVIDE 2 HOUR SHAFT WALL INFILL OPENING IN SIDE OF SHAFT.

Alternates

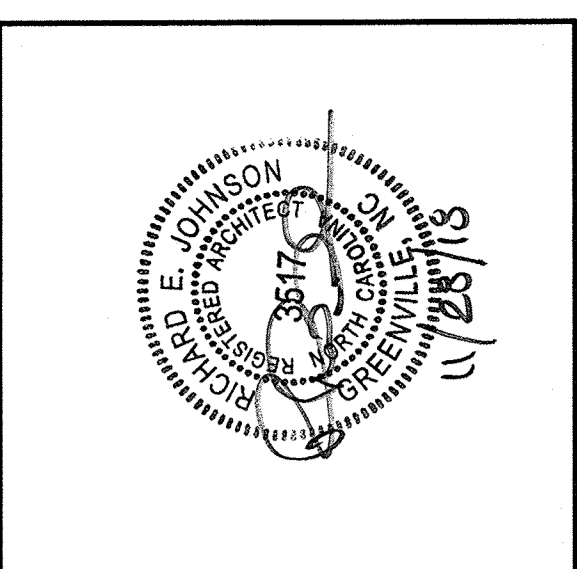
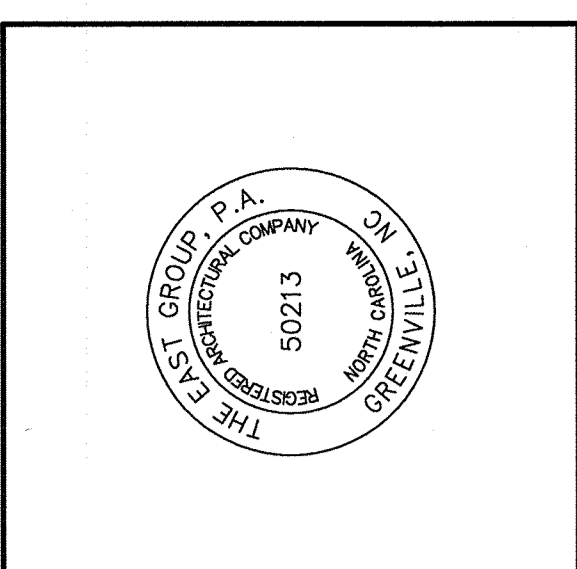
- PROVIDE ROOF SCREEN WALL
- EXTEND ENTRANCE CANOPY
- PROVIDE SITE LIGHTING
- PROVIDE CORNICE
- PROVIDE SUN SHADES
- PROVIDE FIRST FLOOR CANOPIES



1 SECOND FLOOR PLAN
 SCALE: 3/16" = 1'-0"

THE EAST GROUP
Architecture Technology
 Engineering Surveying Technology
 Corporate Office
 401 South Main Street
 Greenville, NC 27838
 Tel 252.756.3746 Fax 252.630.3964
 www.eastgroup.com

Branch Office
 4593 Lake Boone Trail, Suite 317
 Cary, NC 27513
 Tel 919.794.6530 Fax 919.794.6331
 Tel 919.794.6530
 NC Engineering License No. C-02908
 NC Architectural License No. 52213
 NC Landscape Architectural License No. C-427



REV	DATE	DESCRIPTION
0	11/9/18	ISSUED FOR BID
1	11/28/18	ADDENDUM NO. 1

20180057
 CLIENT PROJECT NO.
 PROJECT TITLE
GUC ADMINISTRATION BUILDING RENOVATIONS
 DRAWING TITLE
THIRD FLOOR PLAN
 DRAWING NO.
A2.3

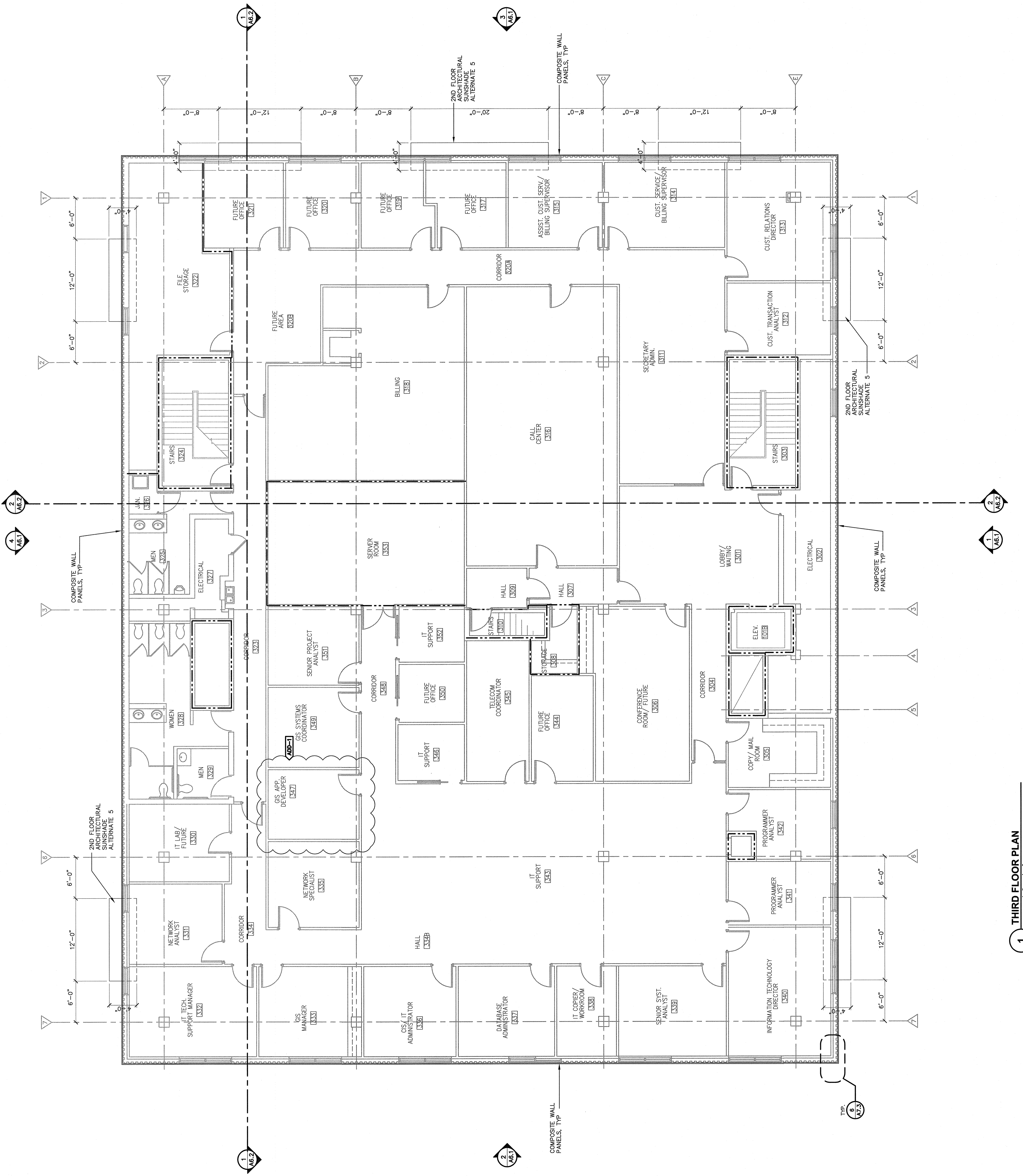
General Notes

- REFER TO SHEET G1.1 FOR ADDITIONAL GENERAL NOTES.
- SEE SHEET G2.1 FOR LOCATION OF ALL FIRE-RATED WALLS, SMOKE PARTITIONS AND EGRESS CRITERIA.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IF CONDITIONS ARE FOUND WHICH DIFFER FROM THE DIMENSIONS SHOWN ON THIS DRAWING, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

ADD-1

Alternates

- PROVIDE ROOF SCREEN WALL
- EXTEND ENTRANCE CANOPY
- PROVIDE SITE LIGHTING
- PROVIDE CORNICE
- PROVIDE SUN SHADES
- PROVIDE FIRST FLOOR CANOPIES



1 THIRD FLOOR PLAN
 SCALE: 3/16" = 1'-0"

REV	DATE	DESCRIPTION
1	11/28/18	ISSUED FOR BID
0	11/28/18	ADENDUM NO. 1

REV	DATE	DESCRIPTION
1	11/28/18	ISSUED FOR BID
0	11/28/18	ADENDUM NO. 1

TEB PROJECT NO.	20180057
CLIENT PROJECT NO.	*****
PROJECT TITLE	

General Notes

OWNER SUPPLIED DATA INDICATES THAT THE EXISTING ROOF SYSTEM IS A PROTECTED MEMBRANE SYSTEM WITH TWO LAYERS OF 30 MIL POLYESTER BASE FIBER OF SUPRALENE FLAM 180 FR GP MODIFIED BITUMEN SHEETS FULLY ADHERED TO CONCRETE DECK WITH 1.5" THICK LIGHTGUARD/HEAVYGUARD PMR INSULATION PANELS BY T. CLEAR PAVERS.

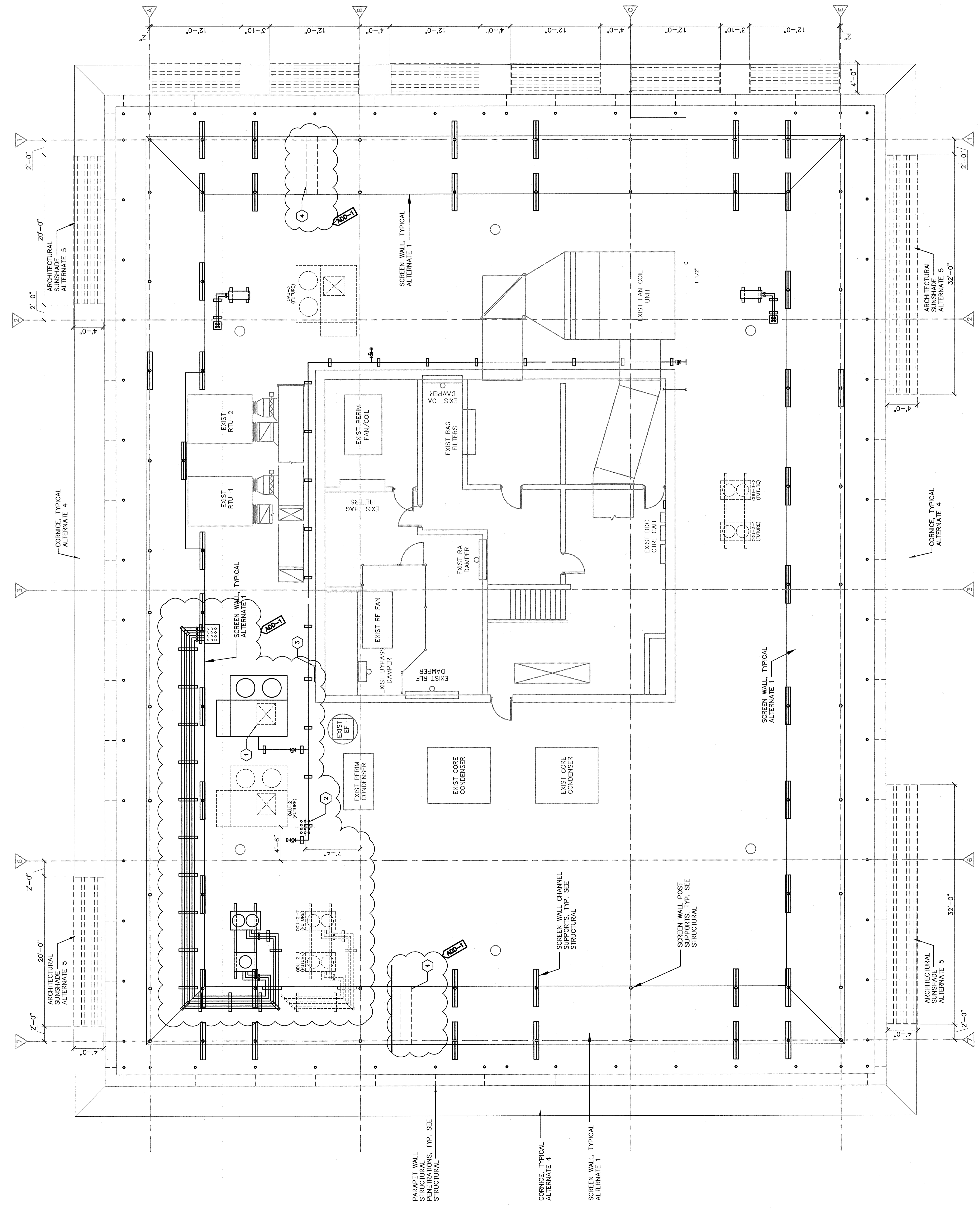
THE ROOFING SYSTEM WAS INSTALLED IN 2008 BY CURTIS ROOFING KINSTON, NC 252-823-1078

FOR ALL PENETRATIONS THROUGH ROOF WALL AND ROOF DECK PROVIDE PROTECTIVE FLASHING SYSTEMS TO RESTORE ROOF TO A WATER TIGHT CONDITION IN COMPLIANCE WITH EXISTING WARRANTY.

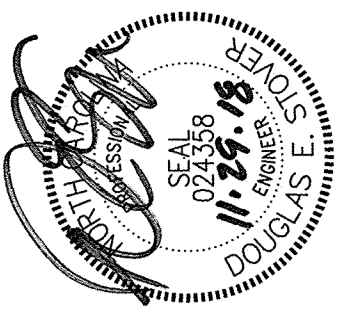
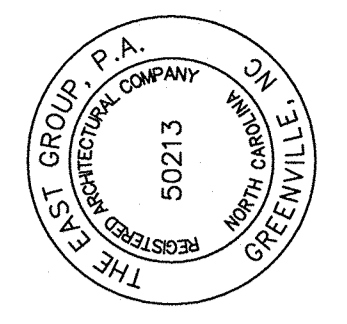
- Keyed Notes**
1. PROVIDE 34"x30" OPENING IN ROOF FOR MECH DUCTWORK
 2. PROVIDE TWELVE 4" DIA CORE DRILLED HOLES SPACED 6" OC FOR MECH PIPING
 3. PROVIDE ALUM ACCESS LADDER BY GREEFFES OR EQUAL
 4. *ACCESS DOOR* PROVIDE CONTINUOUS HINGE AND FASTENING DEVICE FOR ONE 18" ROOF PANEL. FINALIZE LOCATION WITH OWNER.

Alternates

1. PROVIDE ROOF SCREEN WALL
2. EXTEND ENTRANCE CANOPY
3. PROVIDE SITE LIGHTING
4. PROVIDE CORNICE
5. PROVIDE SUN SHADES
6. PROVIDE FIRST FLOOR CANopies



1 ROOF PLAN
 SCALE: 3/16" = 1'-0"

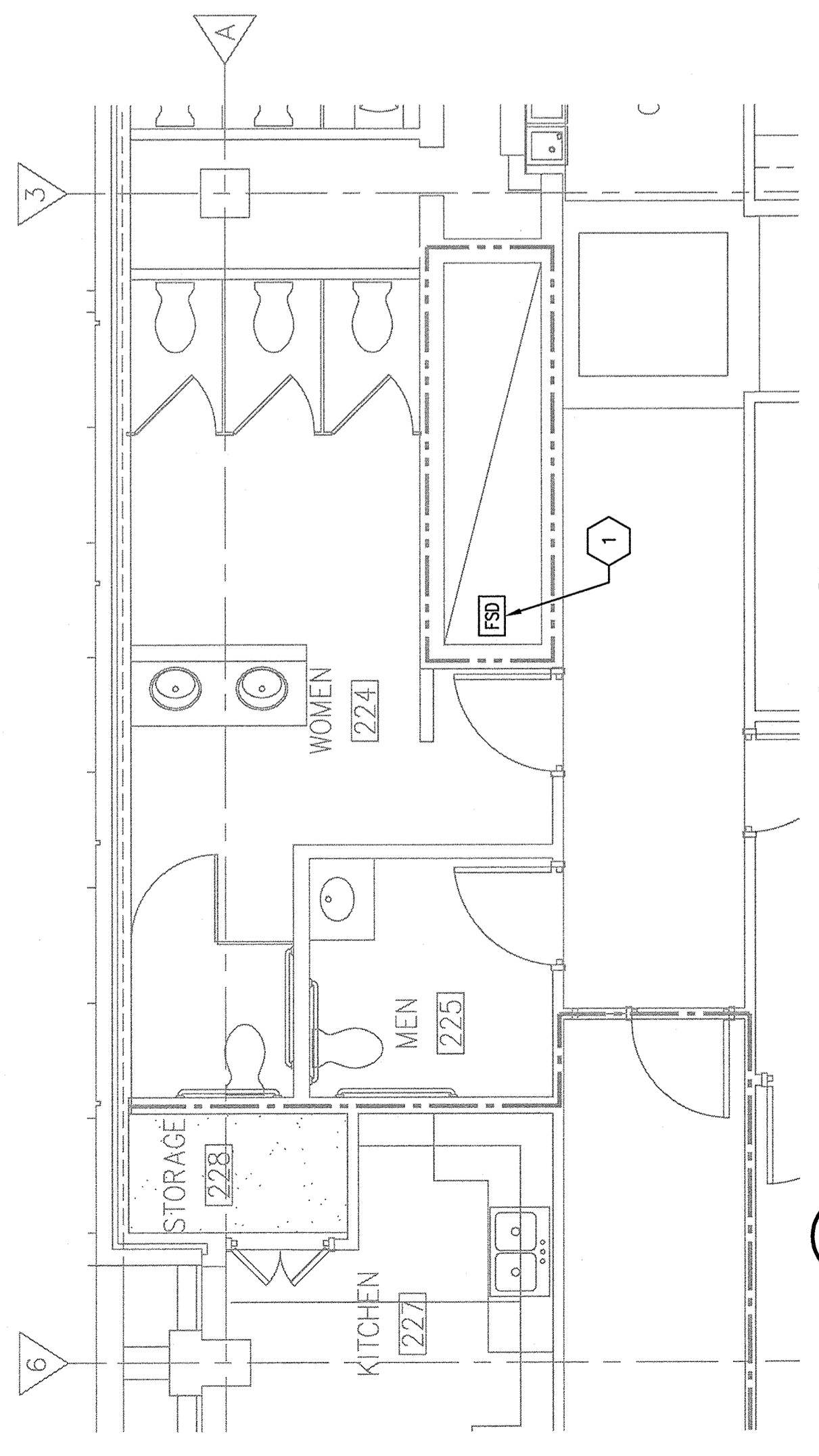
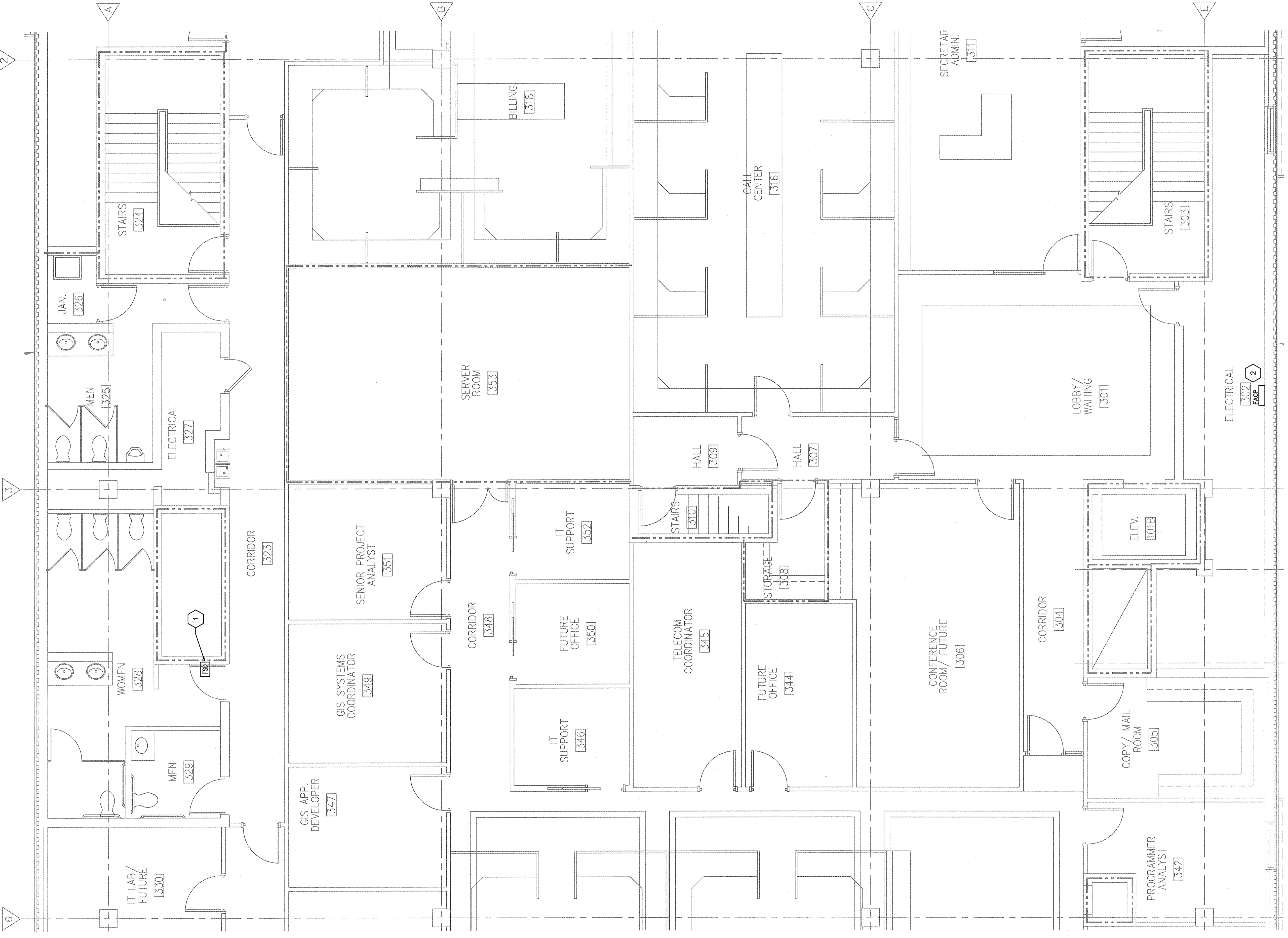


REV	DATE	DESCRIPTION
1	11/28/18	APPENDUM NO. 1
BY		
CHK		
CDB		
DES		

REP PROJECT NO.	20180057
CLIENT PROJECT NO.	
PROJECT TITLE	GUC ADMINISTRATION BUILDING RENOVATIONS
DRAWING TITLE	SECOND AND THIRD FLOOR PLANS - RENOVATION

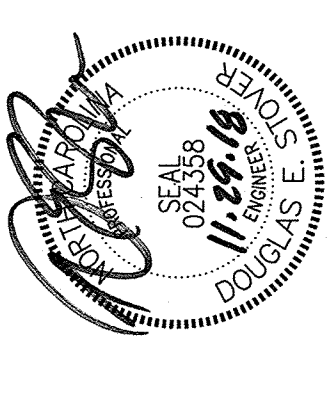
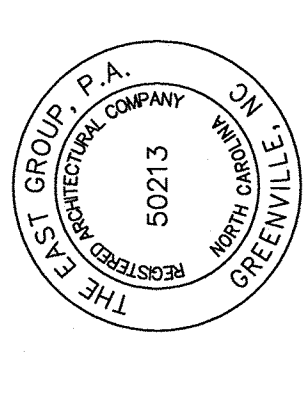
- GENERAL RENOVATION NOTES:**
- COORDINATE INSTALLATION OF ELECTRICAL WORK WITH CEILING AND FLOOR FINISHES. PROVIDE ADDITIONAL OFFSETS/FITTINGS AS REQUIRED.
 - PROVIDE NEW TYPED INSECTS IN PANELBOARDS UPON COMPLETION AND VERIFICATION OF CIRCUITS.
 - THE CONTRACTOR SHALL ENGAGE/SUBCONTRACT THE ELECTRICAL CONTRACTOR TO PERFORM THE FIRE ALARM WORK DESCRIBED IN THE CONTRACT DOCUMENTS, INCLUDING THE INSTALLATION AND ELECTRICAL PROGRAMMING. UNDER THE SUBCONTRACT ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT AND DEVICE BOXES WITH FULL STRINGS (COORDINATE EXACT SIZE, TYPE AND DEVICES AND TERMINATIONS UNDER THE SUBCONTRACT.

- NOTES KEYS TO PLANS:**
- PROVIDE DUCT SMOKE DETECTOR, CONTROL RELAY MODULE AND AVAILABLE CEILING TILE FOR EACH FIRE/SMOKE DAMPER ESD (BY MECHANICAL CONTRACTOR) MOUNTED IN DUCT. PROVIDE NEAREST SPARE 120V CIRCUIT TO SERVE DAMPER ACTUATOR. DAMPER IS TO BE INSTALLED IN THE DUCT. COORDINATE EXACT LOCATION AND INSTALLATION WITH MECHANICAL CONTRACTOR AND OWNER'S PREFERRED FIRE ALARM VENDOR. SEE GENERAL NOTE 3 ON THIS SHEET.
 - APPROXIMATE LOCATION OF FIRE ALARM CONTROL PANEL: SILENT KNIGHT FP-1000.



1 SECOND FLOOR PLAN - RENOVATION
 SCALE: 1/4" = 1'-0"

2 THIRD FLOOR PLAN - RENOVATION
 SCALE: 1/4" = 1'-0"



REV	DATE	DESCRIPTION
0	11/8/18	ISSUED FOR BID
1	11/28/18	ADDENDUM NO. 1

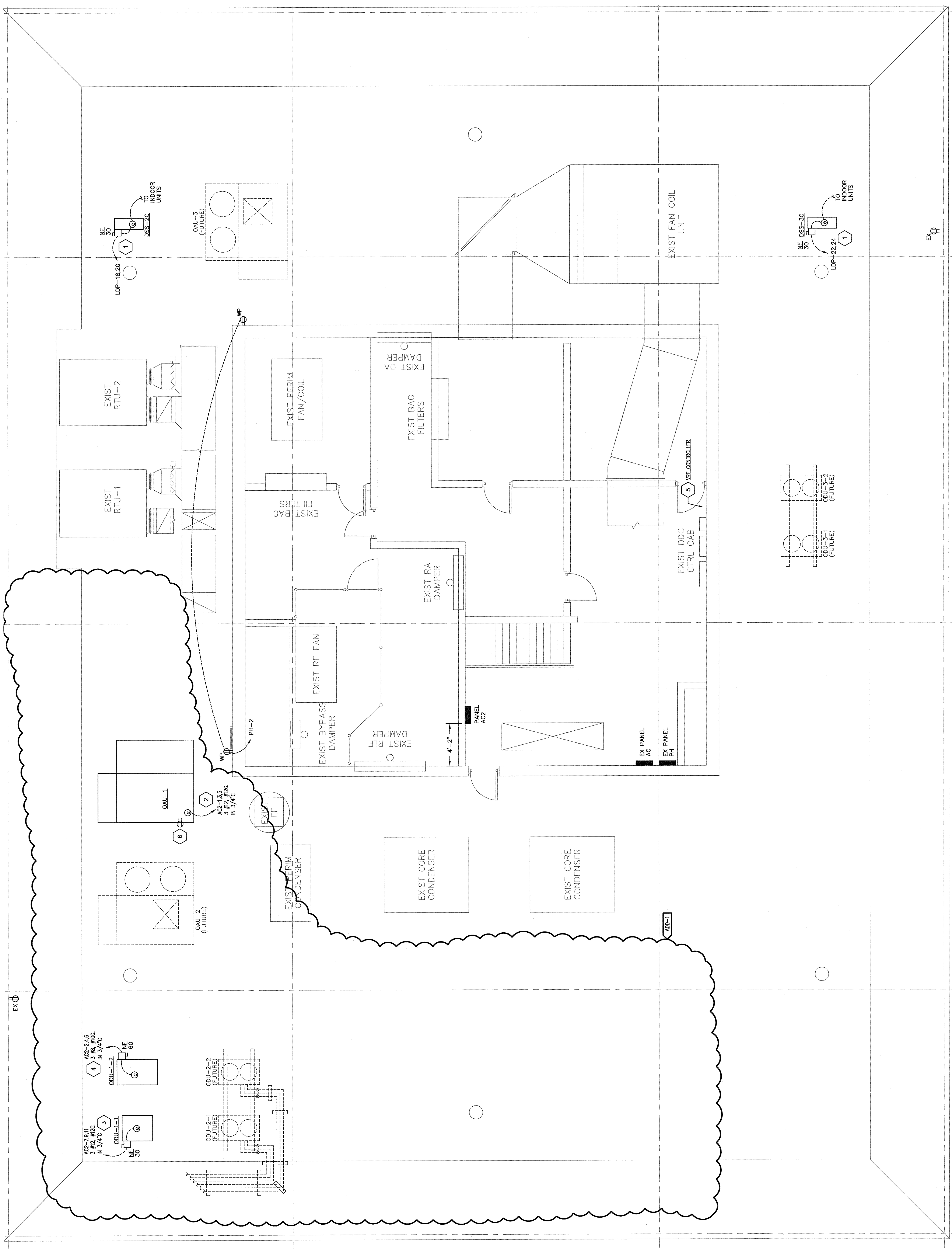
PROJECT NO.	20180057
CLIENT PROJECT NO.	
PROJECT TITLE	

GUC
ADMINISTRATION
BUILDING
RENOVATIONS

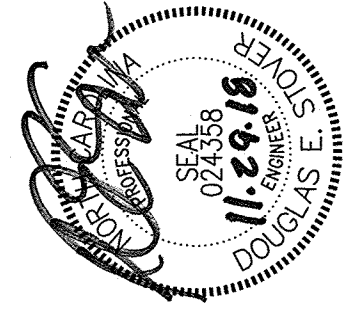
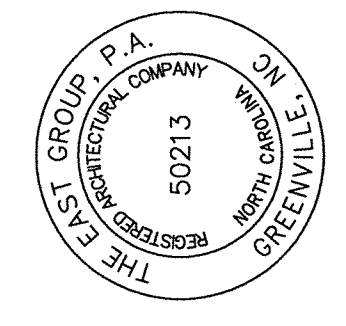
ROOF PLAN - POWER

E3.1

- GENERAL NOTES:**
- PROVIDE NEW TYPED INDEXES IN EXISTING PANELBOARDS UPON COMPLETION AND VERIFICATION OF CIRCUITS.
 - SEE M7.2 FOR ROOF PENETRATION DETAILS.
- NOTES KEYED TO PLAN:**
- 1) SPLIT SYSTEM UNIT DSS: FOR OUTDOOR UNIT (SQUARE D) - DISCONNECT WITH EQUIPMENT GROUND KIT (SQUARE D - DISCONNECT WITH EQUIPMENT GROUND KIT: HUI361RBS), PROVIDE 2 #12, #20 IN 3/4" DIA. CONDUIT TO OUTDOOR UNIT. SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MANUFACTURER'S INSTALLATION AND COORDINATE EXACT LOCATION AND INSTALLATION WITH MECHANICAL CONTRACTOR. SEE SHEET FOR INDOOR UNIT INFORMATION.
 - 2) FOR OAU-1 UNIT, PROVIDE NON-FUSIBLE VOLT, 3 WIRE, NEMA 3R, WITH EQUIPMENT GROUND KIT (SQUARE D - DISCONNECT WITH GROUND KIT: HUI361RBS), COORDINATE EXACT LOCATION AND INSTALLATION WITH MECHANICAL CONTRACTOR.
 - 3) FOR OAU-2 UNIT, PROVIDE NON-FUSIBLE VOLT, 3 WIRE, NEMA 3R, WITH EQUIPMENT GROUND KIT (SQUARE D - DISCONNECT WITH GROUND KIT: HUI361RBS), COORDINATE EXACT LOCATION AND INSTALLATION WITH MECHANICAL CONTRACTOR.
 - 4) FOR OAU-3 UNIT, PROVIDE NON-FUSIBLE VOLT, 3 WIRE, NEMA 3R, WITH EQUIPMENT GROUND KIT (SQUARE D - DISCONNECT WITH GROUND KIT: HUI361RBS), COORDINATE EXACT LOCATION AND INSTALLATION WITH MECHANICAL CONTRACTOR.
 - 5) PROVIDE 120V CIRCUIT (PH-1) AND 120VAC CIRCUIT (PH-2) TO CONTROL TRANSFORMER (PROVIDE 8070T50013) CONTROL TRANSFORMER (PROVIDE PRIMARY AND SECONDARY FUSES) FOR VRF SYSTEM CONTROLLER. COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR.
 - 6) MAINTENANCE RECEPTACLE PROVIDED WITH OAU-1 UNIT.



1 ROOF PLAN - POWER
 SCALE: 1/4" = 1'-0"



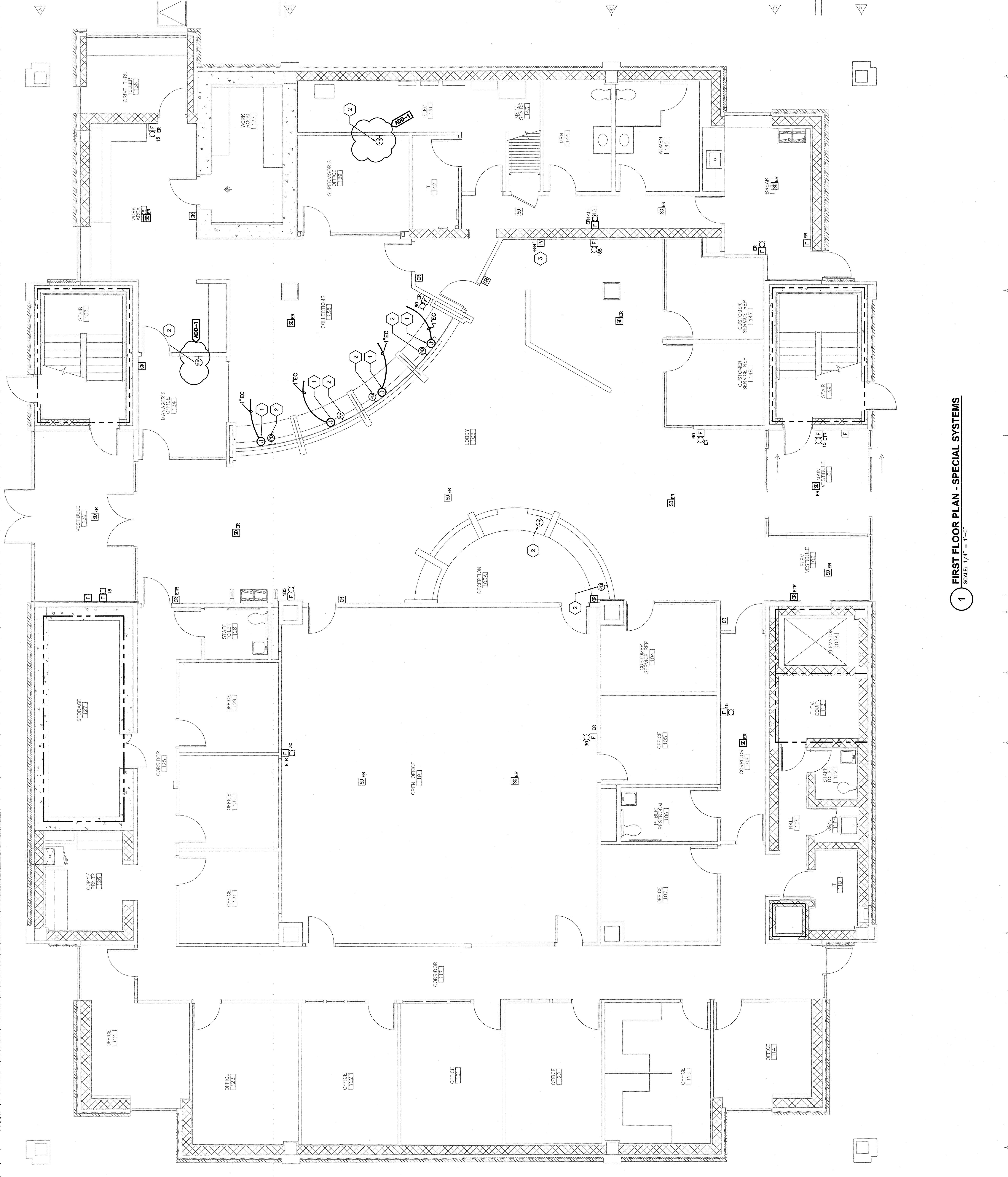
REV	DATE	DESCRIPTION
1	11/28/18	ISSUED FOR BID
0	11/8/18	ADDITION NO. 1

General Notes

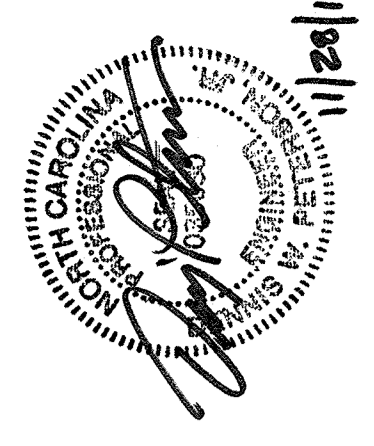
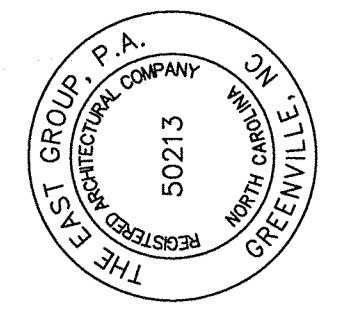
- ELECTRICAL CONTRACTOR SHALL ENGAGE/SUBCONTRACT OWNER'S PREFERRED SECURITY SYSTEMS VENDOR TO PERFORM THE SECURITY SYSTEMS WORK DESCRIBED IN THE CONTRACT DOCUMENTS. ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT AND WIRING TO THE SECURITY SYSTEMS VENDOR (COORDINATE EXACT SIZE, TYPE AND LOCATION WITH VENDOR). VENDOR TO PROVIDE WIRE, DEVICES AND TERMINATIONS UNDER THE SUBCONTRACT.
- THE CONTRACTOR SHALL ENGAGE/SUBCONTRACT THE OWNER'S PREFERRED FIRE ALARM SYSTEMS VENDOR TO PERFORM THE FIRE ALARM WORK DESCRIBED IN THE CONTRACT DOCUMENTS. ELECTRICAL CONTRACTOR TO PROVIDE WIRE, DEVICES, TERMINATIONS AND PROGRAMMING UNDER THE SUBCONTRACT. ELECTRICAL CONTRACTOR SHALL PROVIDE COORDINATE EXACT SIZE, TYPE AND LOCATION WITH VENDOR). VENDOR TO PROVIDE WIRE, DEVICES AND TERMINATIONS UNDER THE SUBCONTRACT.

Keyed Notes

- PROVIDE FLUSH MOUNTED JUNCTION BOX FOR SECURITY SYSTEMS. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH OWNER'S PREFERRED SECURITY SYSTEMS VENDOR. PROVIDE 1" CW WITH PULL STRING FROM JUNCTION BOX TO ABOVE ACCESSIBLE CEILING TILE.
- PANIC BUTTON: PROVIDE BACK BOX AND ACCESSIBLE CEILING TILE. COORDINATE BACK BOX LOCATION WITH OWNER'S PREFERRED SECURITY VENDOR.
- COORDINATE FINAL LOCATION OF TV MONITOR WITH OWNER AND GENERAL CONTRACTOR.



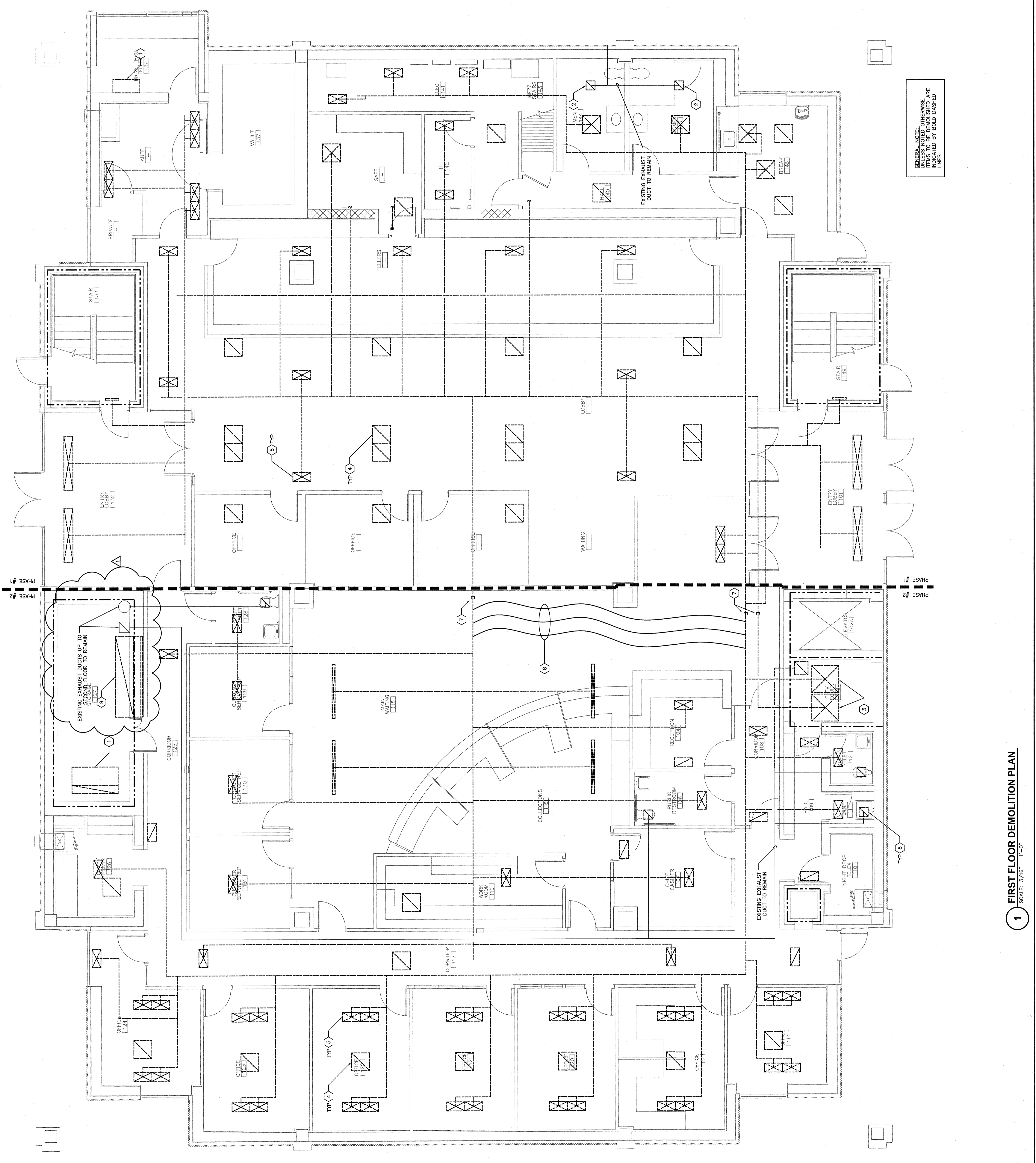
1 FIRST FLOOR PLAN - SPECIAL SYSTEMS
 SCALE: 1/4" = 1'-0"



REV	DATE	DESCRIPTION	BY
1	11/28/18	ADDENDUM NO. 1	DCM
0	11/8/18	ISSUED FOR BID	DCM
			DWP
			CHK

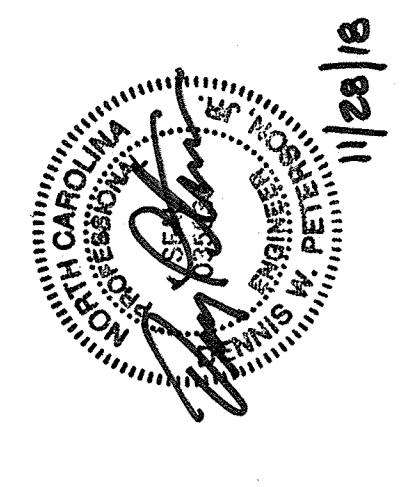
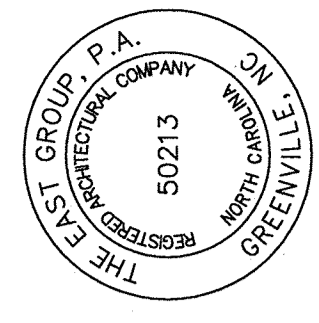
TED PROJECT NO.	20180057
CLIENT PROJECT NO.	
PROJECT TITLE	GUC ADMINISTRATION BUILDING RENOVATIONS
DRAWING TITLE	FIRST FLOOR DEMOLITION PLAN

- Keyed Notes**
- DEMOLISH EXISTING DUCTLESS SPLIT SYSTEM INDOOR UNIT AND ALL REFRIGERANT PIPING AND CONTROL WIRING.
 - DEMOLISH EXISTING CEILING EXHAUST FAN.
 - CAP EXISTING DUCT IN CEILING SPACE DIRECTLY BELOW SECOND FLOOR.
 - DEMOLISH EXISTING PLENUM RETURN GRILLE.
 - DEMOLISH EXISTING SUPPLY DIFFUSER AND ALL ASSOCIATED DUCTWORK.
 - DEMOLISH EXISTING EXHAUST GRILLE.
 - TEMPORARILY CAP DUCTWORK DURING PHASE #1.
 - PROVIDE (3) 16" FLEX DUCTS TO TEMPORARILY SERVE PHASE #2 DURING PHASE #1 CONSTRUCTION.
 - DEMOLISH (3) EXISTING FIRE DAMPERS AT BOTTOM OF EXISTING SHAFT.



1 FIRST FLOOR DEMOLITION PLAN
 SCALE: 3/16" = 1'-0"

This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. © Copyright, The East Group, P.A. 2018



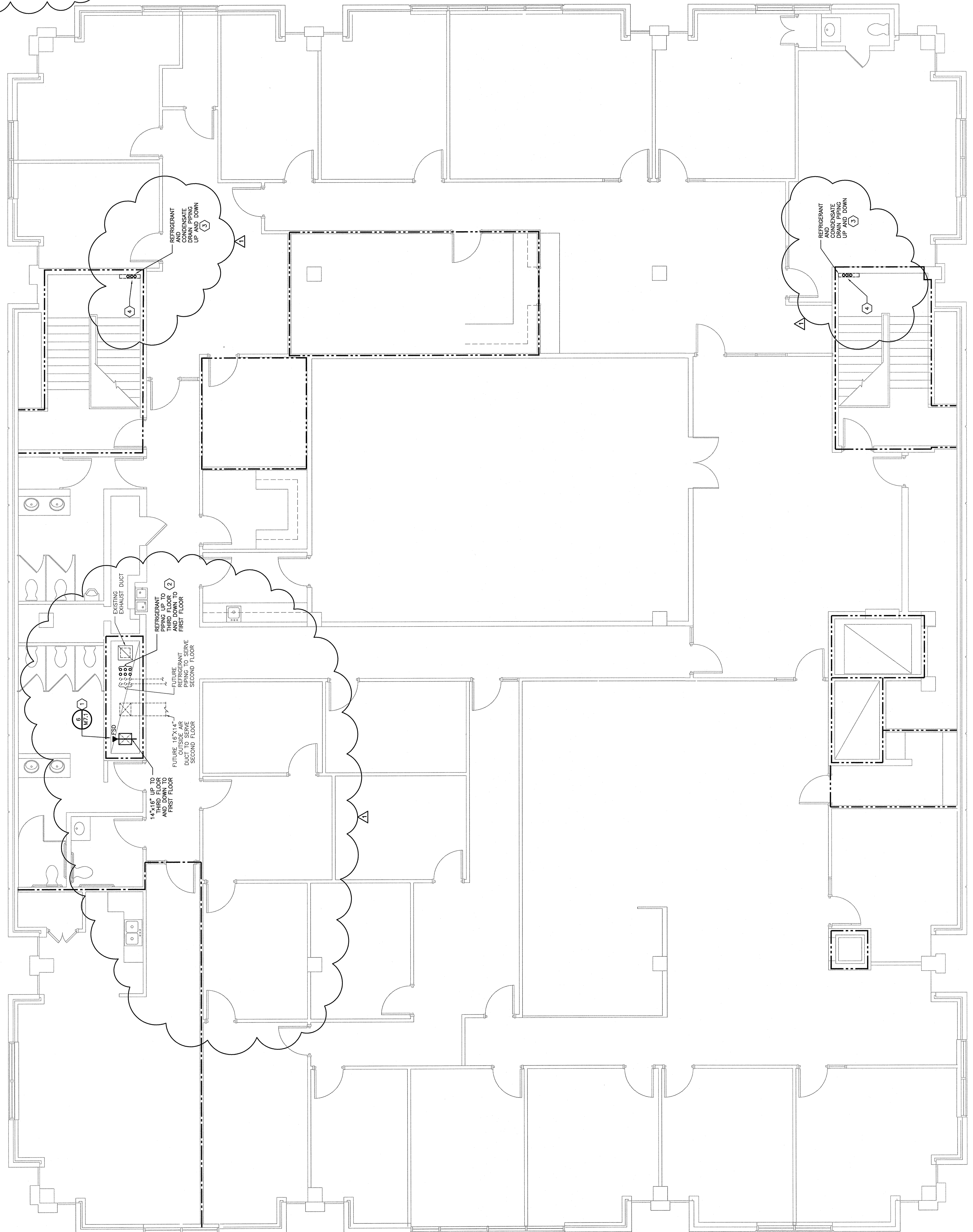
REV	DATE	DESCRIPTION	BY
1	11/28/18	ADDENDUM NO. 1	DCM
0	11/8/18	ISSUED FOR BID	DCM
			dmp
			CHK

TEP PROJECT NO.	20180057
CLIENT PROJECT NO.	----
PROJECT TITLE	GUC ADMINISTRATION BUILDING RENOVATIONS
DRAWING TITLE	SECOND FLOOR PLAN DUCTWORK & PIPING
DRAWING NO.	M2.2

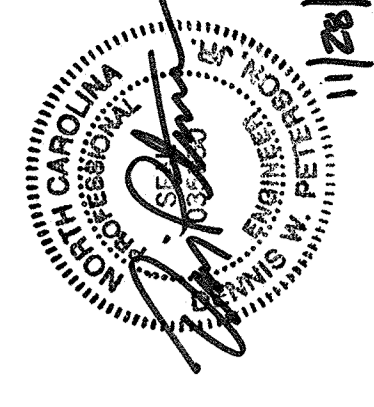
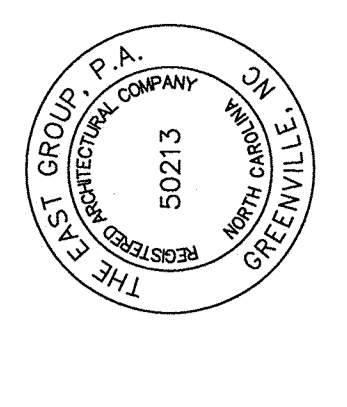
- Keyed Notes**
1. INSTALL COMBINATION FIRE/SMOKE DAMPER IN FLOOR.
 2. PROVIDE REFRIGERANT PIPING IN SIZES RECOMMENDED BY VRF SYSTEM MANUFACTURER.
 3. PROVIDE REFRIGERANT PIPING IN SIZES RECOMMENDED BY VRF SYSTEM MANUFACTURER.
 4. PROVIDE DIVERSITECH SPEEDCHANNEL REFRIGERANT PIPING, CONDENSATE DRAIN PIPING, ELECTRICAL CONDUITS AND CONTROLS TRAYS IN EACH CELL. SEPARATE RACEWAY FOR EACH INDOOR UNIT.

General Note

1. WORK SHOWN ON THIS DRAWING SHALL BE PERFORMED DURING PHASE #1.



1 SECOND FLOOR PLAN - DUCTWORK & PIPING
 SCALE: 1/4" = 1'-0"



REV	DATE	DESCRIPTION	BY
0	11/9/18	ISSUED FOR BID	DCM
1	11/28/18	ADDENDUM NO. 1	DCM

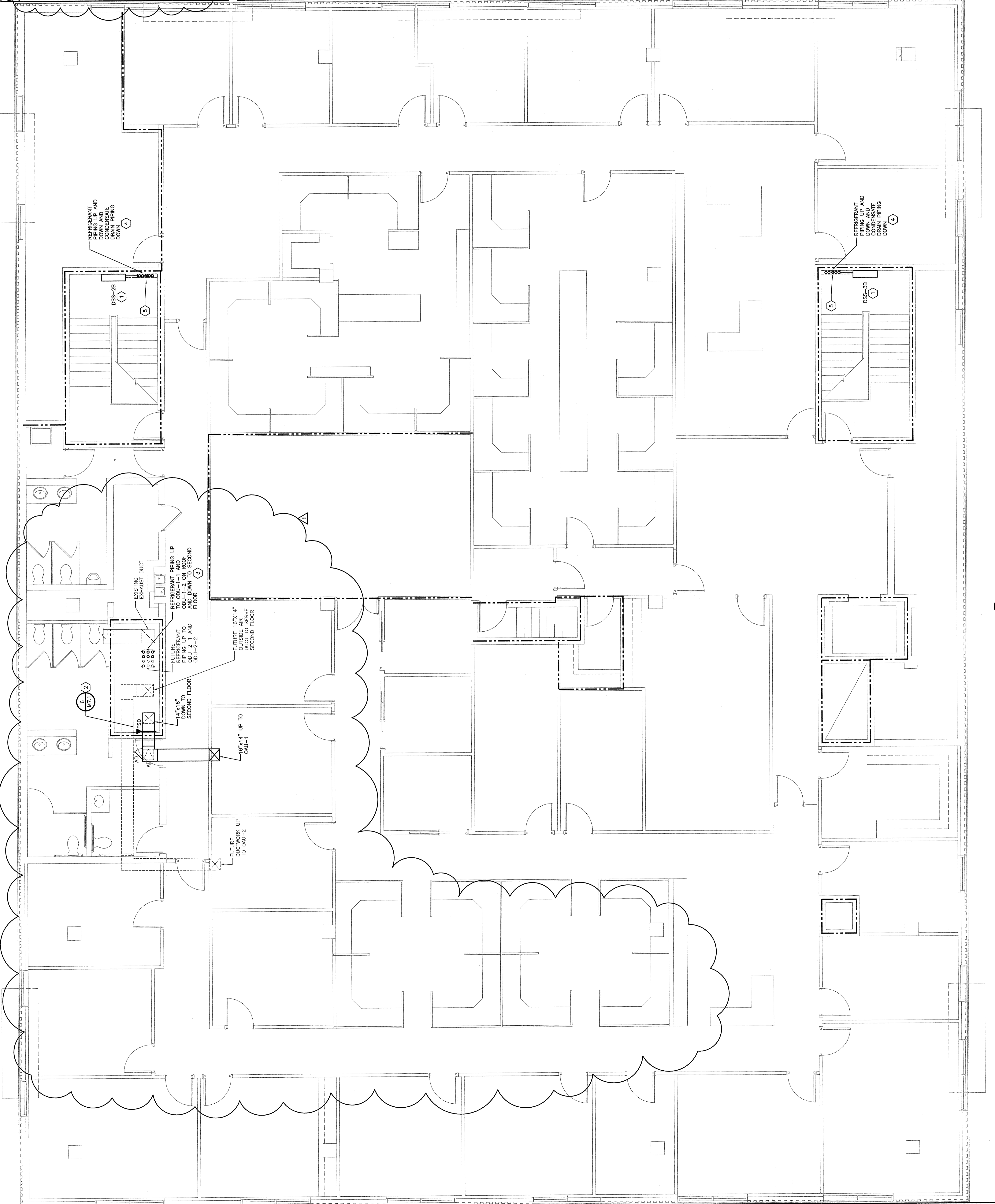
TGP PROJECT NO.	20180057
CLIENT PROJECT NO.	
PROJECT TITLE	GUC ADMINISTRATION BUILDING RENOVATIONS
DRAWING TITLE	THIRD FLOOR PLAN DUCTWORK & PIPING

Keyed Notes

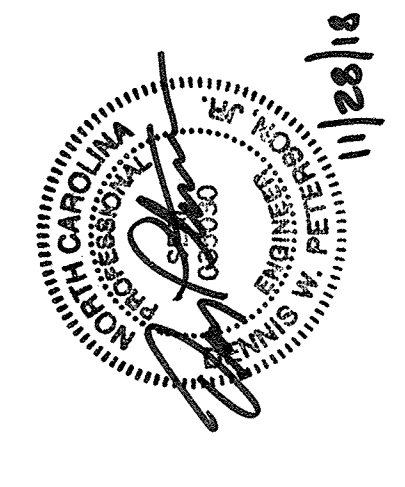
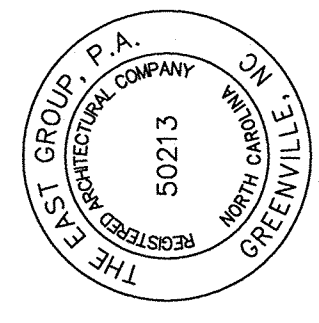
- INSTALL DSS INDOOR UNIT 8'-0" ABOVE INTERMEDIATE STAIR LANDING BETWEEN SECOND AND THIRD FLOORS.
- INSTALL COMBINATION FIRE/SMOKE DAMPER IN EXISTING SHAFT WALL.
- PROVIDE REFRIGERANT PIPING IN SIZES RECOMMENDED BY VRF SYSTEM MANUFACTURER.
- PROVIDE REFRIGERANT PIPING IN SIZES RECOMMENDED BY DSS MANUFACTURER.
- PROVIDE DIVERSITECH SPEEDCHANNEL 230000 RACEWAY PIPING CONDENSATE DRAIN PIPING ELECTRICAL CONDUITS AND CONTROLS WIRING IN STAIRWELL. PROVIDE SEPARATE RACEWAY FOR EACH INDOOR DSS UNIT.

General Note

- WORK SHOWN ON THIS DRAWING SHALL BE PERFORMED DURING PHASE #1.



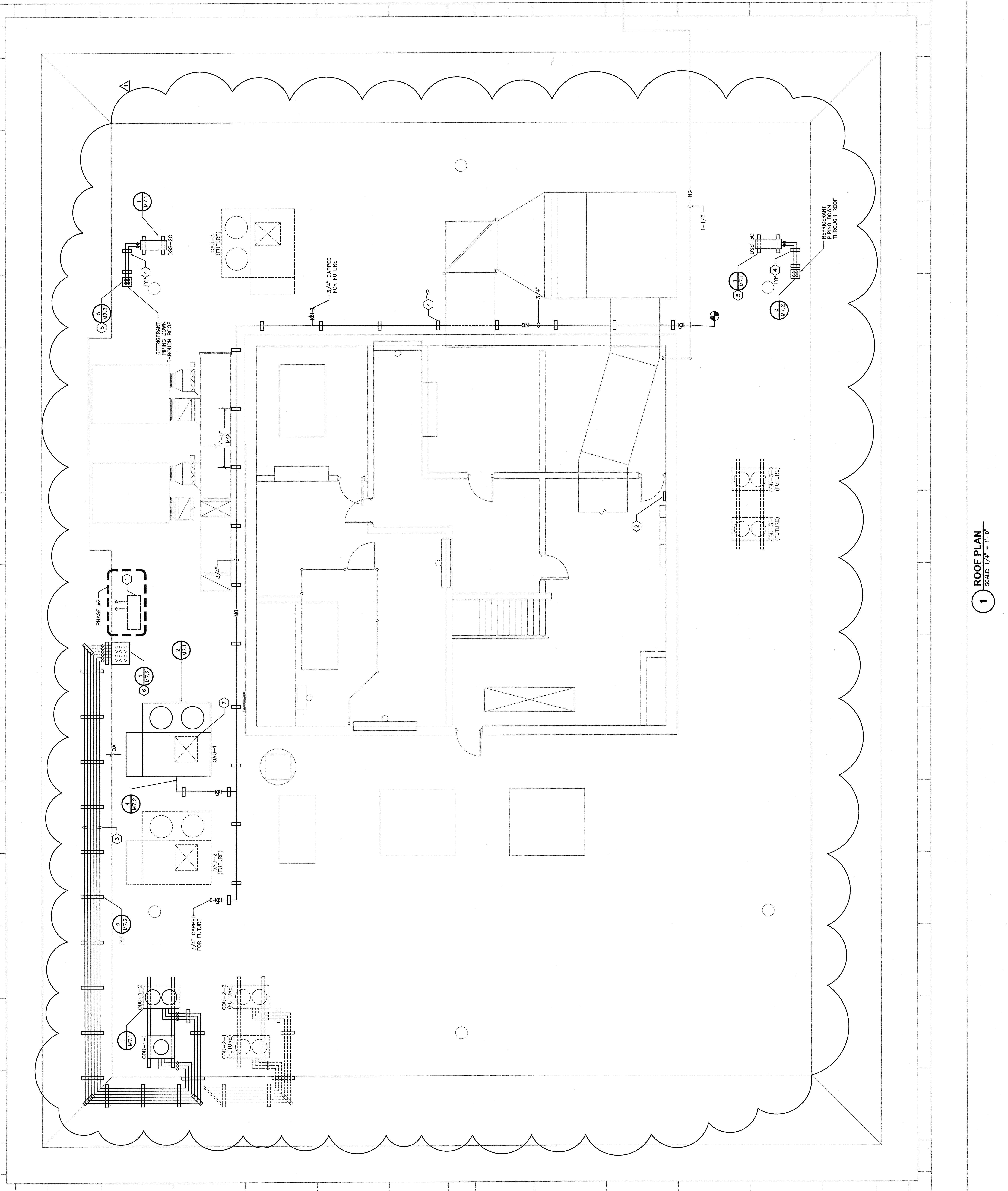
1 THIRD FLOOR PLAN - DUCTWORK & PIPING
 SCALE: 1/8" = 1'-0"



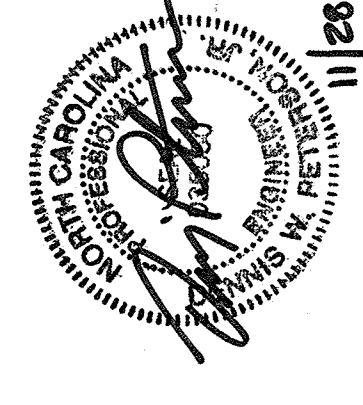
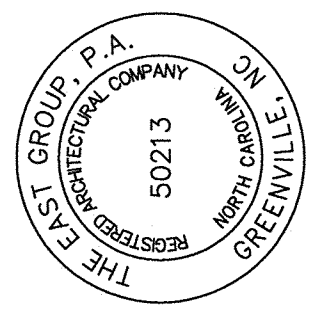
REV	DATE	DESCRIPTION	BY	CHK
1	11/28/18	ADDENDUM NO. 1	DCM	
0	11/9/18	ISSUED FOR BID	DCM	
			DCM	
			CHK	

EST PROJECT NO.	20180057
CLIENT PROJECT NO.	
PROJECT TITLE	GUC ADMINISTRATION BUILDING RENOVATIONS
DRAWING TITLE	ROOF PLAN
DRAWER NO.	M3.1

- Keyed Notes**
- DEMOLISH EXISTING DUCTLESS SPLIT SYSTEM UNITS AND REFRIGERANT PIPING AND CONTROLS WIRING. PROVIDE WEATHERPROOF CAP ON EXISTING ROOF PIPING PENETRATION. EXISTING EQUIPMENT PIPING TO REMAIN.
 - INSTALL WVE SYSTEM CONTROLLER ON WALL BESIDE EXISTING CONTROLS CABINETS.
 - PROVIDE REFRIGERANT PIPING IN SIZES RECOMMENDED BY RFR SYSTEM MANUFACTURER.
 - PROVIDE EXTON 8-LINE DURA-BLOK (OR EQUAL) ROOF PIPE SUPPORT.
 - PROVIDE REFRIGERANT PIPING IN SIZES RECOMMENDED BY DSS MANUFACTURER.
 - CORE-DRILL EXISTING CONCRETE ROOF FOR PIPE PENETRATIONS.
 - SAW-CUT EXISTING CONCRETE ROOF FOR DUCT PENETRATION.
- General Note**
- WORK SHOWN ON THIS DRAWING SHALL BE PERFORMED DURING PHASE #1 UNLESS NOTED OTHERWISE.



1 ROOF PLAN
 SCALE: 1/4" = 1'-0"



REV	DATE	DESCRIPTION	BY
1	11/28/18	ADDENDUM NO. 1	DCM
0	11/8/18	ISSUED FOR BID	DCM
			DWF
			CHK

PROJECT NO.	20180057
CLIENT PROJECT NO.	
PROJECT TITLE	
DRAWING TITLE	

**GUC
 ADMINISTRATION
 BUILDING
 RENOVATIONS**

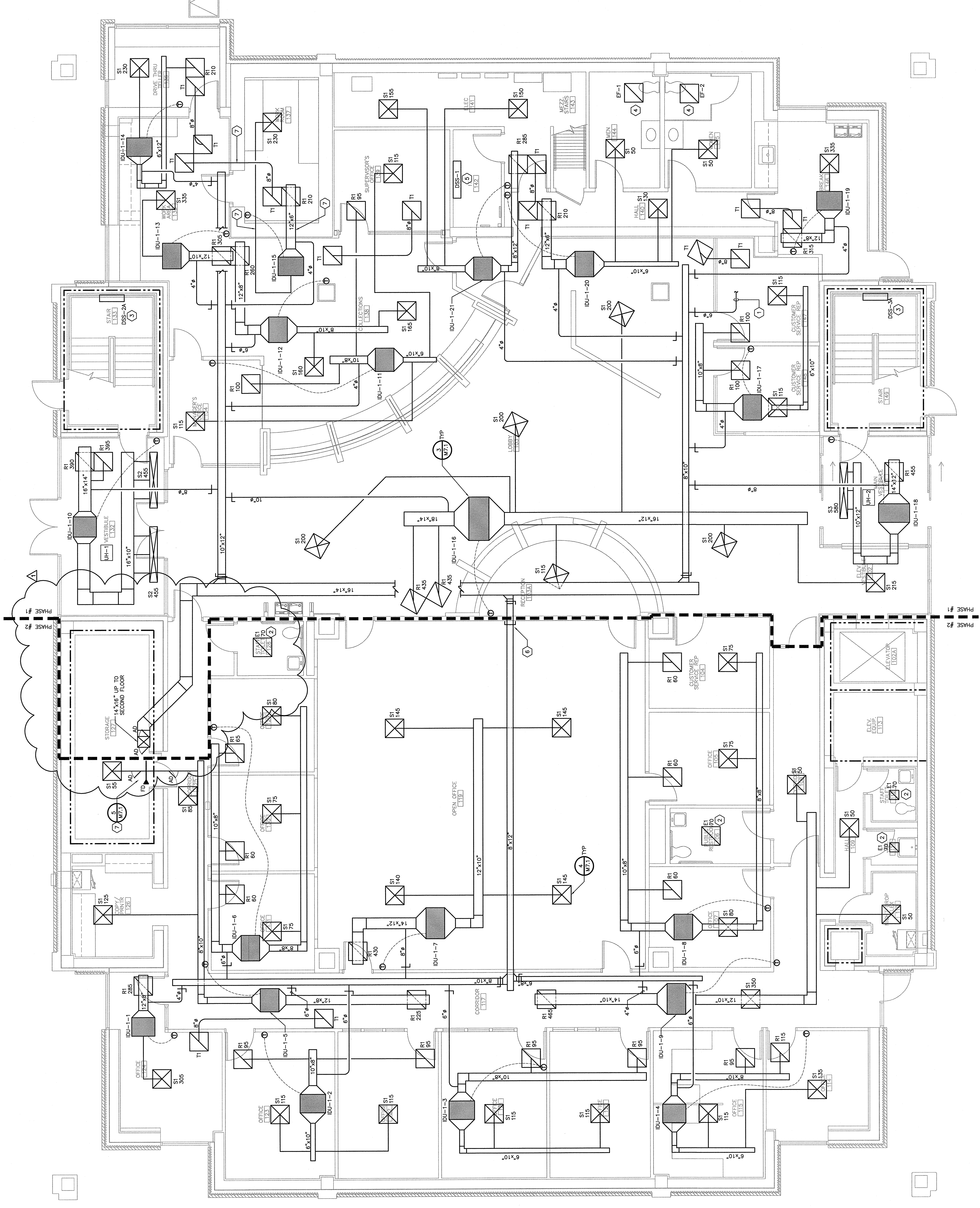
FIRST FLOOR PLAN
 DUCTWORK

MD2.1

- Keyed Notes**
- SEE M2.1g FOR CONTINUATION.
 - CONNECT GRILLE TO EXISTING EXHAUST DUCT.
 - INSTALL DSS INDOOR UNIT 8"-0" ABOVE INTERMEDIATE STAIR LANDING (BETWEEN FIRST AND SECOND FLOORS).
 - CONNECT EXHAUST FAN TO EXISTING EXHAUST DUCT.
 - INSTALL DSS INDOOR UNIT 6" BELOW CEILING.
 - TEMPORARILY CAP DUCTWORK DURING PHASE #1.
 - SAW-CUT EXISTING CONCRETE VAULT FOR DUCT INSTALLATION.

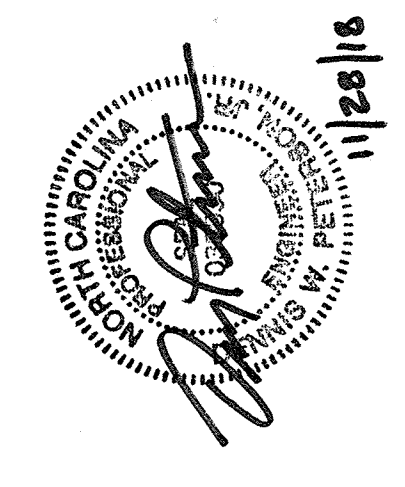
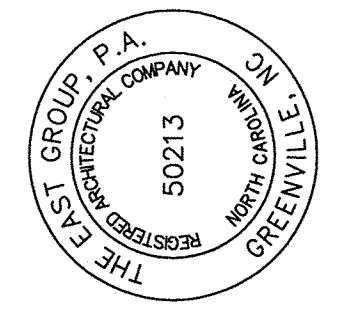
General Note

- DUCT BRANCHES TO DIFFUSERS AND GRILLES SHALL MATCH DIFFUSER/GRILLE NECK SIZE PER SCHEDULE ON M8.1



1 FIRST FLOOR PLAN - DUCTWORK
 SCALE: 1/4" = 1'-0"

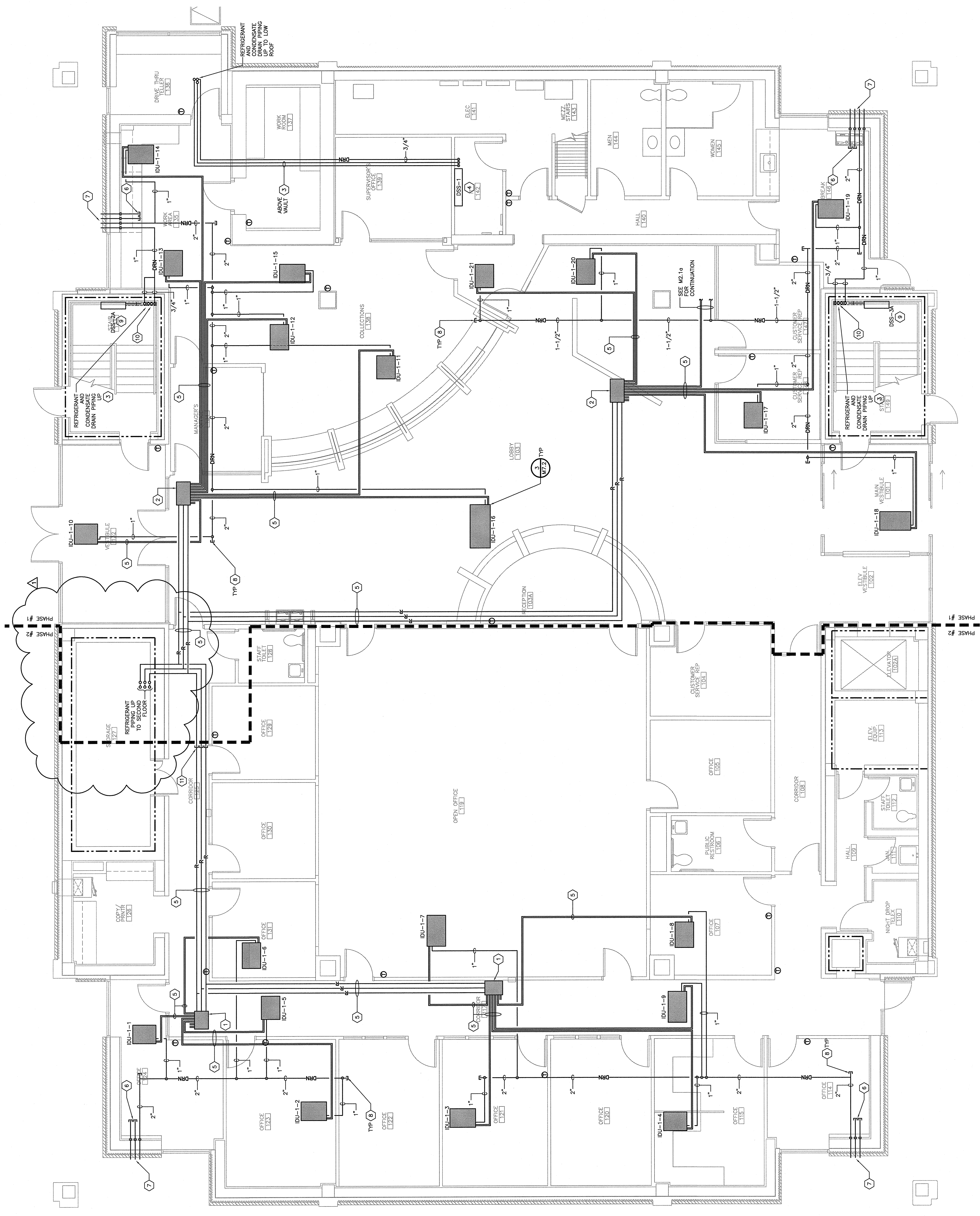
This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. (© Copyright, The East Group, P.A. 2018)



REV	DATE	DESCRIPTION
1	11/28/18	ADDENDUM NO. 1
0	11/8/18	ISSUED FOR BID
DCM		
DWP		
CHK		

TED PROJECT NO.	20180057
CLIENT PROJECT NO.	
PROJECT TITLE	GUC ADMINISTRATION BUILDING RENOVATIONS
DRAWING TITLE	FIRST FLOOR PLAN PIPING
DRAWING NO.	MP2.1

- Keyed Notes**
- 6-PORT REFRIGERANT BRANCH CONTROLLER.
 - 8-PORT REFRIGERANT BRANCH CONTROLLER.
 - PROVIDE REFRIGERANT PIPING IN SIZES RECOMMENDED BY DSS MANUFACTURER.
 - INSTALL DSS INDOOR UNIT 6" BELOW CEILING.
 - PROVIDE REFRIGERANT PIPING IN SIZES RECOMMENDED BY VRF SYSTEM MANUFACTURER.
 - PROVIDE (2) 2" CONDENSATE DRAINS CAPPED IN CEILING SPACE FOR FUTURE CONNECTION IN SECOND AND THIRD FLOOR VRF INDOOR UNITS.
 - TERMINATE CONDENSATE DRAINS WITH A TURNED-DOWN ELBOW AT 6" ABOVE GRADE.
 - PROVIDE CLEANOUT PLUG AT ALL CHANGES IN PIPE SIZE AND AT THE END OF EACH LINE.
 - INSTALL DSS INDOOR UNIT 8" ABOVE INTERMEDIATE STAIR LANDING (BETWEEN FIRST AND SECOND FLOORS).
 - PROVIDE DIVERSTECH SPEEDCHANNEL 230-06 RACEWAY TO CONCEAL ALL REFRIGERANT PIPING, CONDENSATE DRAIN PIPING, AND VENT PIPING. PROVIDE SEPARATE RACEWAY FOR EACH INDOOR DSS UNIT.
 - TEMPORARILY CAP REFRIGERANT PIPING DURING PHASE #1.



1 FIRST FLOOR PLAN - PIPING
 SCALE: 1/4" = 1'-0"

This drawing is the property of The East Group, P.A. Any use, reuse, reproduction, display or sale of this drawing without written consent of The East Group, P.A. is strictly prohibited. © Copyright, The East Group, P.A. (2018)